

Town of Long Island



P.O.Box 263 Long Island, ME 04050 207-766-5820

FAX: 207-766-5400

Email: townoflongisland@myfairpoint.net

Website: www.townoflongisland.us

BUILDING PERMIT APPLICATION# 635

LOT# 746 ZONE R2 LOT SIZE 9230 STREET LOCATION 32 Greenwood Lane

OWNER/APPLICANT Brian and Kathy Arseneault

OWNER/APPLICANT ADDRESS 32 Greenwood Lane - Long Island

TELEPHONE HOME _____ WORK _____ CELL Kathy 207-939-9242

CONTRACTOR Phil Fabiano CELL Brian 207-671-2399

ADDRESS _____

TELEPHONE WORK _____ CELL 207-329-5110 JOB SITE _____

EMAIL _____

APPLICATION TYPE

☐ NEW PRINCIPAL STRUCTURE ☐ ADDITION ☐ RELOCATION
☐ NEW ACCESSORY STRUCTURE ☒ ALTERATION ☐ REPLACEMENT
☐ REPAIR

PROJECT DESCRIPTION (BRIEF EXPLANATION OF WORK TO BE DONE):

Refurbish bathroom and Laundry Room, new floors,
and insulation. Install small bathroom window, lift
roofline of laundry room, maintain current dimensions.
No increase in footprint or # of bedrooms

DIMENSIONS OF PROPOSED STRUCTURE See Plans

PROPOSED FOUNDATION TYPE:

☐ FULL 10' ☐ FULL 8' ☐ 4' FROST WALL ☐ PIER ☒ SLAB

SETBACKS OF PROPOSED STRUCTURES (MUST BE SHOWN ON "REQUIRED" SITE PLAN)

FRONT _____ FT SIDES _____ FT/ _____ FT REAR _____ FT

BUILDING HEIGHT

THE VERTICAL DISTANCE FROM THE AVERAGE ORIGINAL GRADE TO THE TOP OF THE HIGHEST ROOF BEAMS OF A FLAT ROOF, OR TO THE MEAN LEVEL OF THE HIGHEST GABLE OR SLOPE OF GABLE OR HIP ROOF. (MAX 35' ALLOWED)

EXISTING STRUCTURES 11/10 FTPROPOSED STRUCTURES Same FT

FOR STRUCTURES TO BE OCCUPIED OR FOR AN INCREASE IN THE # OF BEDROOMS TO BE SERVICED BY PRIVATE SEPTIC SYSTEM:

OF EXISTING BEDROOMS 11/10

OF ADDITIONAL BEDROOMS _____

CEO PERMIT CHECKLIST:

SEASONAL CONVERSION	_____ YES	_____ NO
SEPTIC REVIEW NEEDED	_____ YES	_____ NO
SEPTIC DESIGN NEEDED	_____ YES	_____ NO
EXISTING LOT COVERAGE	_____ OVER ON COVERAGE	_____ YES _____ NO

NO BUILDING HEREAFTER ERECTED SHALL BE OCCUPIED OR USED, IN WHOLE OR IN PART, UNTIL A CERTIFICATE OF OCCUPANCY SHALL HAVE BEEN ISSUED BY THE CODE ENFORCEMENT OFFICER.

MINIMUM OF THREE INSPECTION REQUIRED FOR ALL CONSTRUCTION WORK.

1. FOUNDATIONS (FOOTINGS, WALLS, DRAINAGE, WATER PLUG)
2. FRAMING (PRIOR TO COVERING STRUCTURAL MEMBERS)
3. FINAL INSPECTION BEFORE OCCUPANCY

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING AND SHORELAND CONSTRUCTION MAY REQUIRE MAINE DEP PERMIT

THIS PERMIT APPLICATION DOES NOT PRECLUDE THE APPLICANT(S) FROM MEETING APPLICABLE STATE AND FEDERAL RULES.

THIS PERMIT WILL BE COME NULL AND VOID IF CONSTRUCTION IS NOT STARTED WITHIN SIX MONTHS OF PERMIT ISSUE DATE.

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE NAMED PROPERTY, OR THAT I HAVE BEEN AUTHORIZED BY THE OWNER TO MAKE THIS APPLICATION AS THEIR AGENT. I AGREE TO CONFORM TO ALL APPLICABLE LAWS OF THIS JURISDICTION. IN ADDITION, IF THIS PERMIT IS ISSUED, I CERTIFY THAT THE CODE OFFICIAL OR HIS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO ENTER ALL AREAS COVERED BY SUCH PERMIT AT ANY REASONABLE HOUR FOR THE PURPOSES OF INSPECTING SAID WORK.

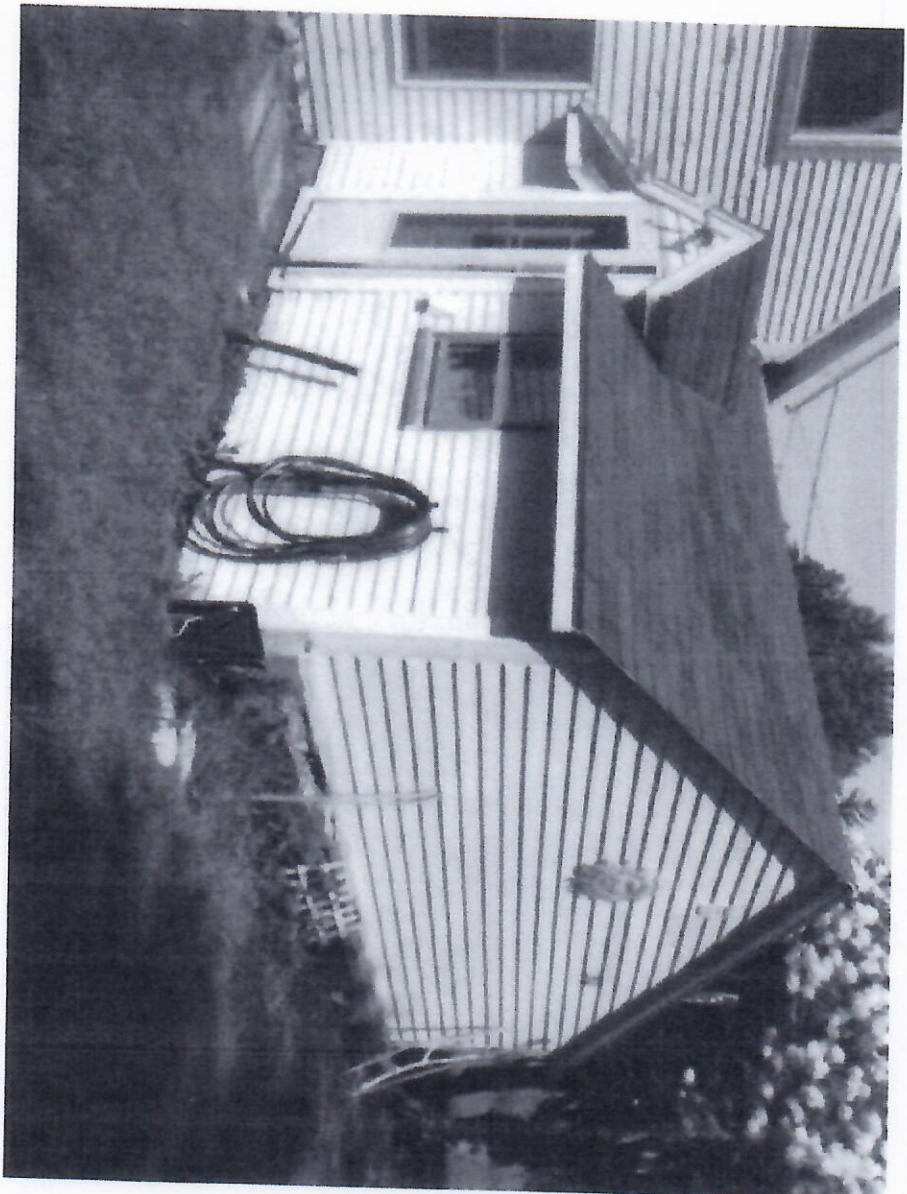
PRINTED NAME Brian + Kathy Arsenault OWNER/AUTHORIZED AGENTSIGNED Brian Arsenault Kathy Arsenault DATE _____
OWNER / AUTHORIZED AGENTAPPROVED BY CODE ENFORCEMENT OFFICER YES _____ NOSIGNED James Doyle DATE 9/10/22ESTIMATED COST INCLUDING MATERIALS & LABOR \$ 35,000PERMIT FEE: 234.00 240.00
(SEE PAGE 4 FOR PERMIT FEE SCHEDULE)PAID: CASH _____ CHECK# 705

APPLICATIONS FOR PERMITS MUST BE ACCOMPANIED BY THE FOLLOWING:

A site plan drawn to an indicated scale and showing the location and dimensions of all buildings to be erected, the sewage disposal system, driveways and turnarounds, and abutting lot and street lines. The site plan shall accurately represent the relationship between any proposed building or structure or addition to an existing building and all property lines to demonstrate compliance with setback requirements of the Ordinance. If there is any doubt as to the location of a property line on the ground or if the Code Enforcement Officer cannot confirm that all setback requirements are met from the information provided, the Code Enforcement Officer may require the applicant to provide a boundary survey or mortgage inspection plan.

SITE PLAN

See attached Plans



EXISTING / DEMO

NH

NORDKI AUS LLC
DESIGN AND CONSULTING
1000 STATE STREET
PORTLAND, ME 04102

LONG ISLAND CABIN, ARSENAULT COTTAGE
32 GREENWOOD LANE, LONG ISLAND, ME 04050

Sheet List

Sheet Name	Sheet Number
COVER SHEET	A0.0
EXISTING GROUND FLOOR PLAN	A1.1
ENLARGED LAUNDRY ROOM -	A1.2
EXISTING DEMO PLAN	A1.3
NEW WORK PLAN	A2.1
EXISTING / DEMO EXTERIOR	A2.2
ELEVATION	A2.3
NEW WORK EXTERIOR ELEVATION - SOUTH	A2.4

DESCRIPTION OF WORK :

- REMOVAL OF EXISTING ROOF, GABLE, DOOR AND EXTERIOR WALL
- REPLACEMENT WITH MATERIALS IN-KIND AND NEW SLOPE TO INCREASE INTERIOR HEAD HEIGHT
- INSTALLATION OF NEW SKYLIGHT AT LOWER LEVEL EXISTING BATHROOM

COVER SHEET

Project number	NH119	A0.0
Date	12/14/2021	
Drawn by	RA	
Checked by	AC	



NORDKHAUS LLC
DESIGN AND CONSULTING
E: acm181517@nordkhaus.com
P: (617) 932-6024

LONG ISLAND CABIN, ARSENAULT COTTAGE
32 GREENWOOD LANE, LONG ISLAND, ME 04050

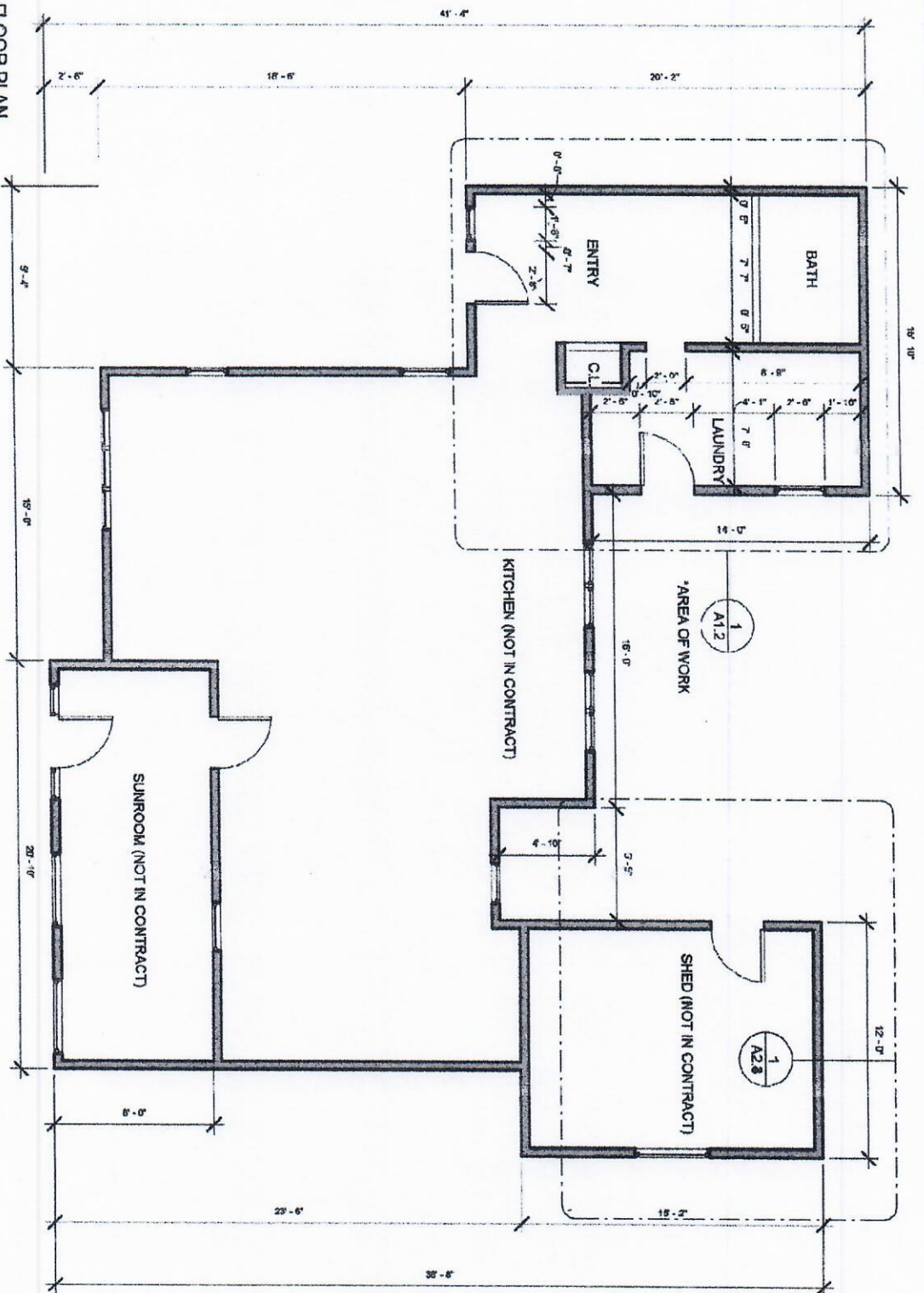
EXISTING GROUND FLOOR PLAN

Project number	NH119
Date	12/14/2021
Drawn by	RA
Checked by	AC

A1.1

Scale 3/16" = 1'-0"

① GROUND FLOOR PLAN
3/16" = 1'-0"



NH

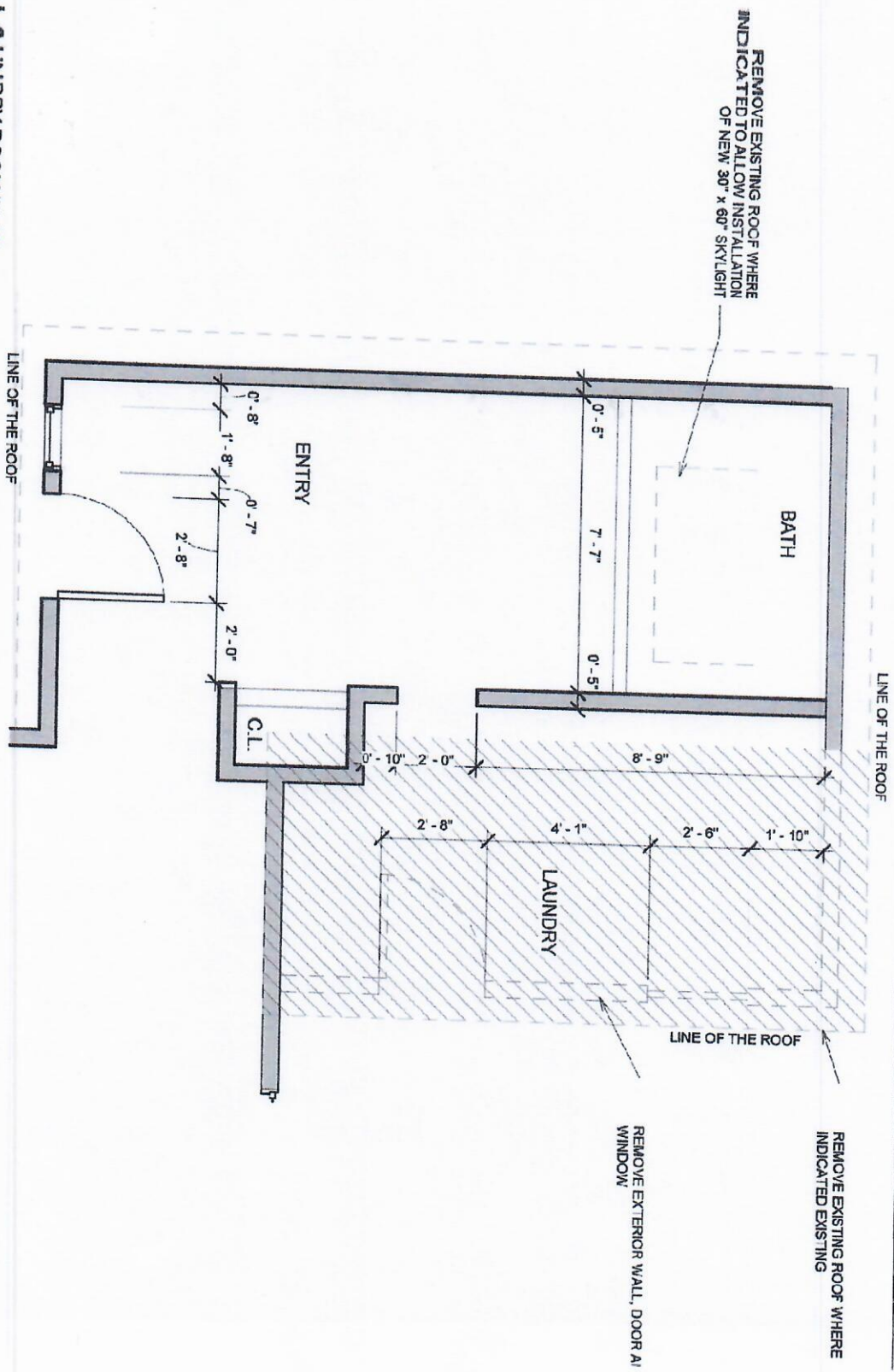
NOBLES RD KHAUS LLC
DESIGN AND CONSULTING
32 GREENWOOD LANE, LONG ISLAND, ME 04050
508-688-0000

LONG ISLAND CABIN, ARSENAULT COTTAGE
32 GREENWOOD LANE, LONG ISLAND, ME 04050

ENLARGED LAUNDRY ROOM - EXISTING

Project number	NH119
Date	12/14/2021
Drawn by	Author
Checked by	Checker

1 ENLARGED LAUNDRY ROOM PLAN
3/8" = 1'-0"



NH

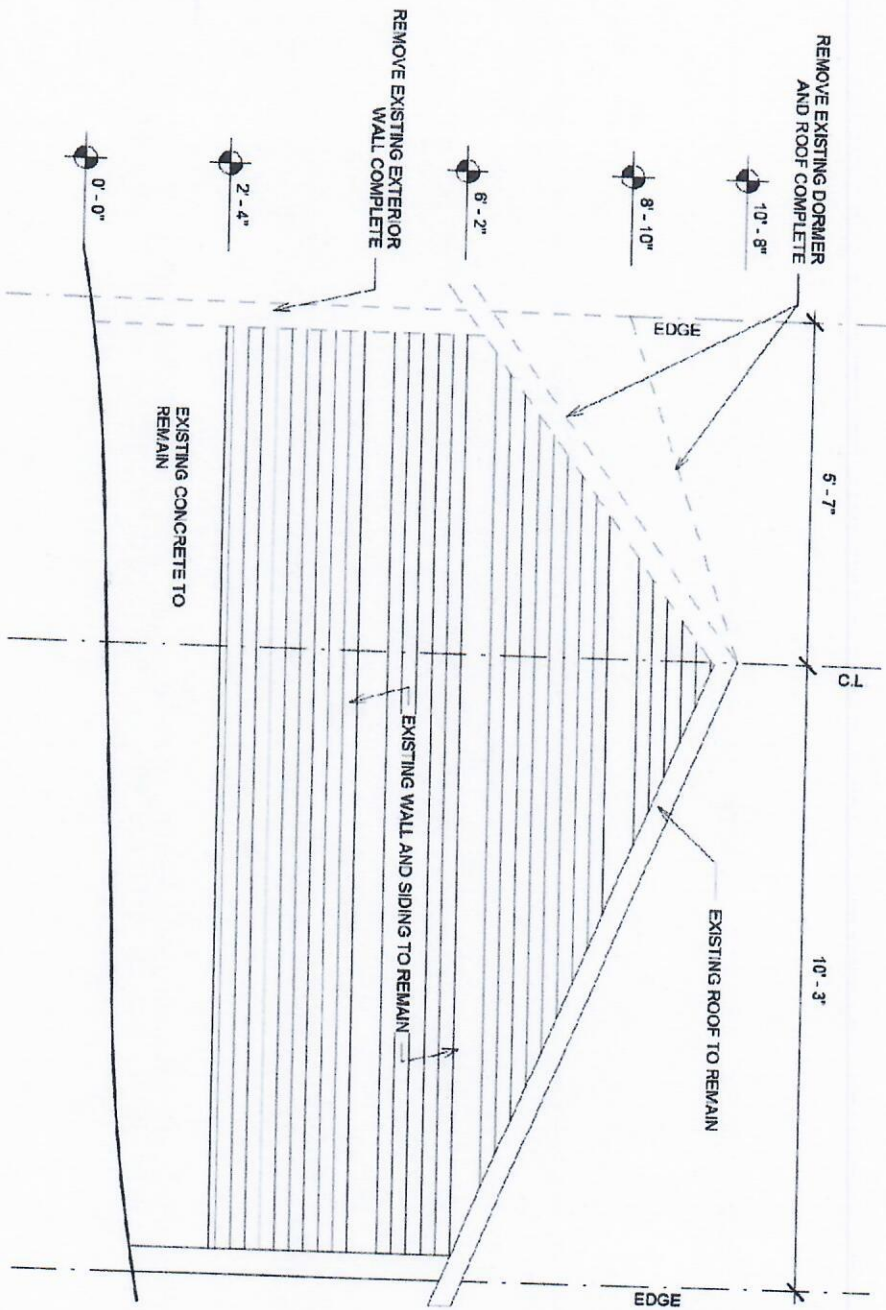
NORDKHAUS LLC
DESIGN AND CONSULTING
P. 101 / 555 6026

LONG ISLAND CABIN, ARSENAULT COTTAGE
32 GREENWOOD LANE, LONG ISLAND, ME 04050

EXISTING / DEMO EXTERIOR ELEVATION

Project number	NH-119	Scale	A2.1
Date	12/14/2021		
Drawn by	Author	Checked by	Checker

EXISTING / DEMO EXTERIOR
ELEVATION
1
1/2" = 1'-0"



NH

NORDKHAUS LLC
DESIGN AND CONSULTING
1103 Main Street
Portland, ME 04101

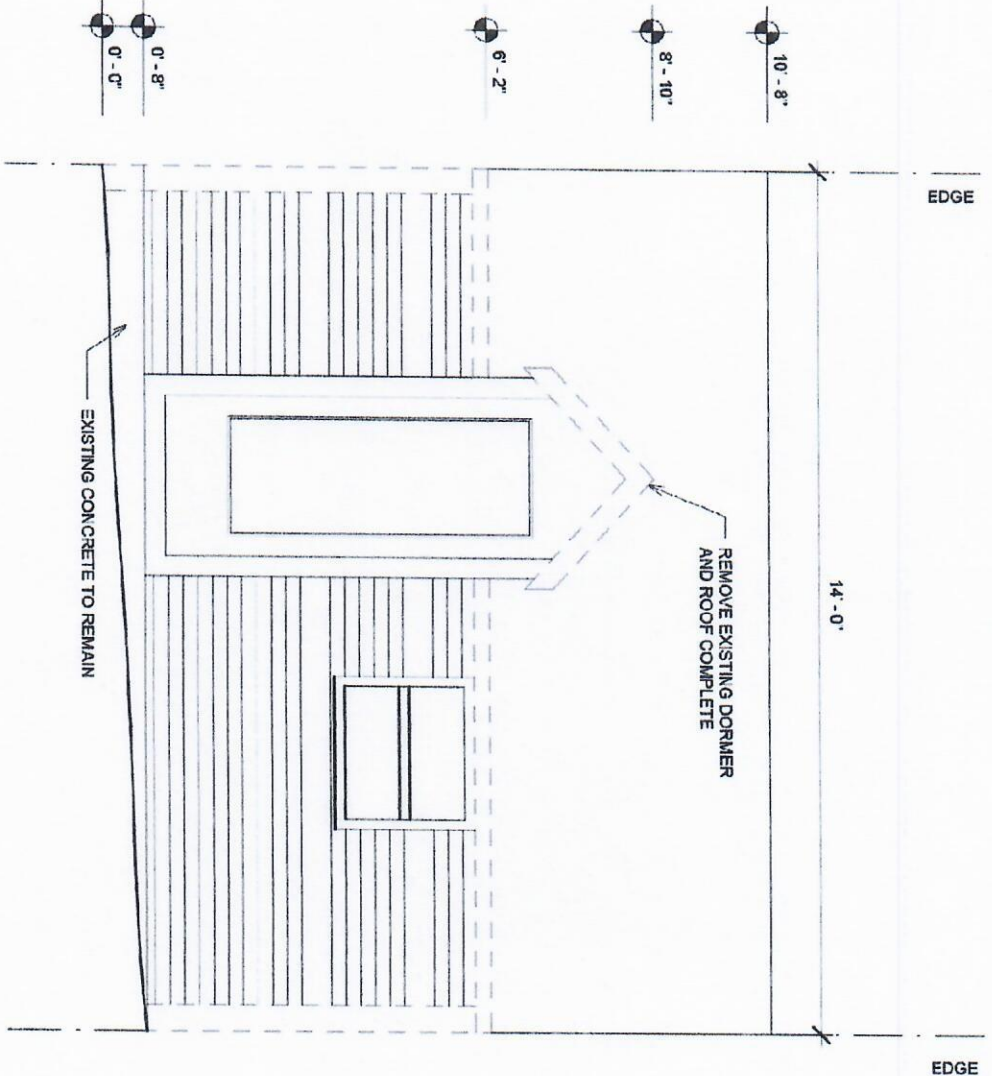
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32 GREENWOOD LANE, LONG ISLAND, ME 04050

EXISTING / DEMO EXTERIOR ELEVATION

Project number	NH118
Date	12/14/2021
Drawn by	Author
Checked by	Checker
Scale	1/2" = 8'-0"

A2.2

EXISTING / DEMO EXTERIOR
ELEVATION - VIEW 2
1/2" = 8'-0"



NH

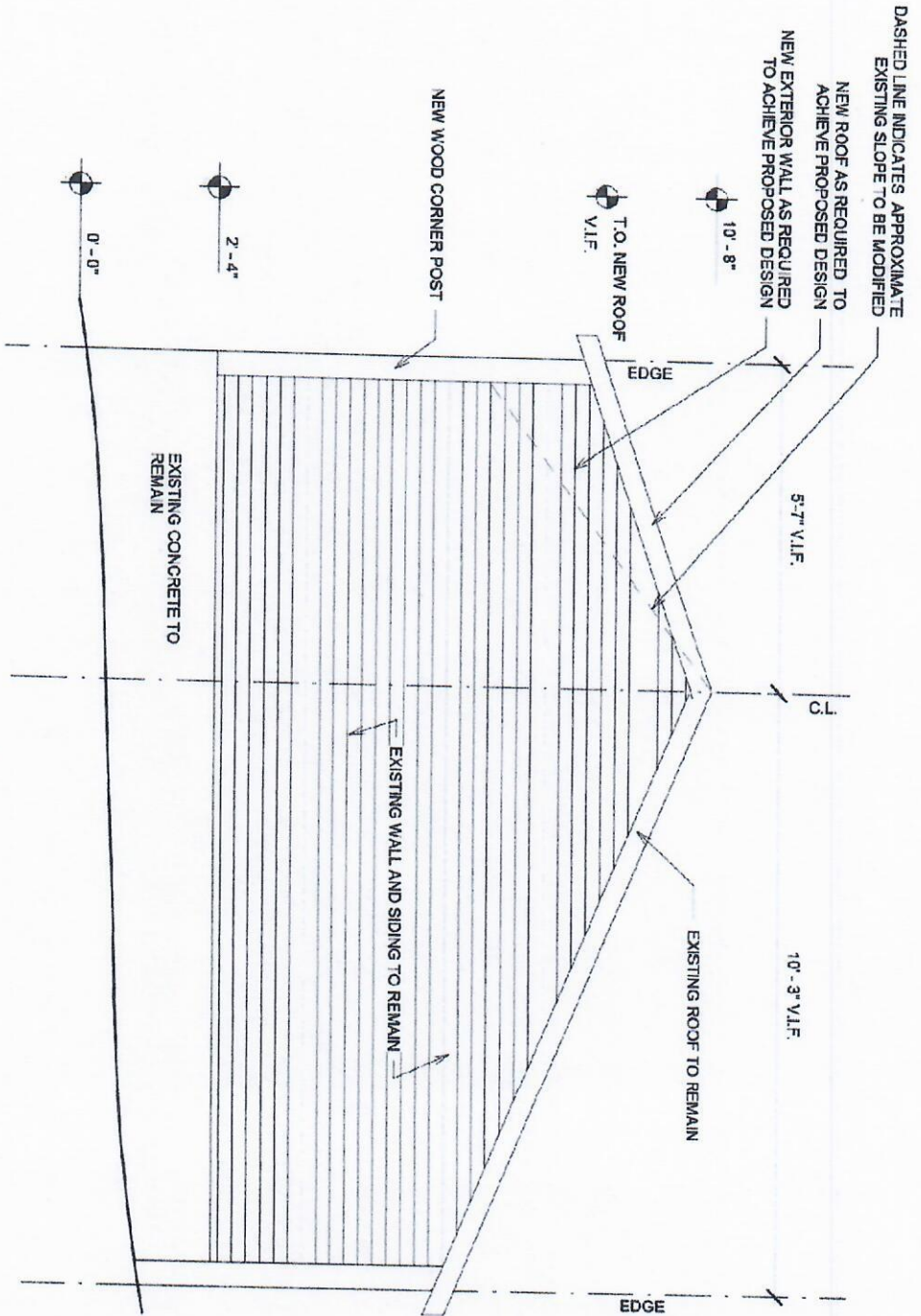
NORDKHAUS LLC
 115 CAN AND CONSULTING
 1000 ROUTE 100
 04002-1000

LONG ISLAND CABIN, ARSENAULT COTTAGE
 32 GREENWOOD LANE, LONG ISLAND, ME 04050

NEW WORK EXTERIOR ELEVATION - EAST

Project number	NH119	A2.3
Date	12/14/2021	
Drawn by	Author	
Checked by	Checker	Scale 1/2" = 1'-0"

NEW WORK EXTERIOR ELEVATION - EAST
 1/2" = 1'-0"



NH

NORDKHAUS LLC
DESIGN AND CONSULTING
P.O. BOX 17553 BOSTON, MA 02117
P: 617.953.8024
E: admin@nordkhaus.com

LONG ISLAND CABIN, ARSENAULT COTTAGE
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NEW WORK ELEVATION - SOUTH

Project number	NH1119	Scale	1/2" = 1'-0"
Date	12/14/2021		
Drawn by	Author		
Checked by	Checker		

A2.4

1 NEW WORK ELEVATION - SOUTH
1/2" = 1'-0"

