Town of Long Island

P.O.Box 263 Long Island, ME 04050 207-766-5820
FAX: 207-766-5400
Email: townoflongisland@myfairpoint.net
Website: www.townoflongisland.us

BUILDING PERMIT APPLICATION# 647

LOT# 226 **ZONE**____ **LOT SIZE** 1.3 **STREET LOCATION** 65 Island Ave.

OWNER/APPLICANT Cynthia MacDonald Natalie and David Truesdell

OWNER/APPICANT ADDRESS 69 Cumberland St Yarmouth ME 04096

TELEPHONE HOME 765-490-6181 WORK____ CELL____

CONTRACTOR Phil Fabiano

ADDRESS 11 Gerry Ave.

TELEPHONE WORK____ CELL 207-329-5110 JOB SITE____

EMAIL iblongtoo@yahoo.com

APPLICATION TYPE

X NEW PRINCIPAL STRUCTURE ____ ADDITION ____ RELOCATION

____ NEW ACCESSORY STRUCTURE ____ ALTERATION ____ REPLACEMENT

____ REPAIR

PROJECT DESCRIPTION (BRIEF EXPLANATION OF WORK TO BE DONE):

Build a 2 story/ 3 bedroom/ 2 bath home

DIMENSIONS OF PROPOSED STRUCTURE 26'x36'

PROPOSED FOUNDATION TYPE:

____ FULL 10' ____ FULL 8' ____ 4' FROST WALL ____ PIER X SLAB

SETBACKS OF PROPOSED STRUCTURES (MUST BE SHOWN ON "REQUIRED" SITE PLAN)

FRONT 64 FT SIDES 2238 FT/ ____ FT REAR 212 FT

Hold w Fastener Doors + windows

BUILDING HEIGHT
THE VERTICAL DISTANCE FROM THE AVERAGE ORIGINAL GRADE TO THE TOP OF THE HIGHEST ROOF BEAMS OF A FLAT ROOF, OR TO THE MEAN LEVEL OF THE HIGHEST GABLE OR SLOPE OF GABLE OR HIP ROOF. (MAX 35' ALLOWED)

EXISTING STRUCTURES N/A FT PROPOSED STRUCTURES _____ FT

FOR STRUCTURES TO BE OCCUPIED OR FOR AN INCREASE IN THE # OF BEDROOMS TO BE SERVICED BY PRIVATE SEPTIC SYSTEM:

OF EXISTING BEDROOMS 3 # OF ADDITIONAL BEDROOMS 2

CEO PERMIT CHECKLIST:
SEASONAL CONVERSION _____YES _____NO
SEPTIC REVIEW NEEDED _____YES _____NO
SEPTIC DESIGN NEEDED _____YES _____NO
EXISTING LOT COVERAGE _____ OVER ON COVERAGE _____YES _____NO

NO BUILDING HEREAFTER ERECTED SHALL BE OCCUPIED OR USED, IN WHOLE OR IN PART, UNTIL A CERTIFICATE OF OCCUPANCY SHALL HAVE BEEN ISSUED BY THE CODE ENFORCEMENT OFFICER.

MINIMUM OF THREE INSPECTION REQUIRED FOR ALL CONSTRUCTION WORK.
1. FOUNDATIONS (FOOTINGS, WALLS, DRAINAGE, WATER PLUG)
2. FRAMING (PRIOR TO COVERING STRUCTURAL MEMBERS)
3. FINAL INSPECTION BEFORE OCCUPANCY

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING AND SHORELAND CONSTRUCTION MAY REQUIRE MAINE DEP PERMIT

THIS PERMIT APPLICATION DOES NOT PRECLUDE THE APPLICANT(S) FROM MEETING APPLICABLE STATE AND FEDERAL RULES.

THIS PERMIT WILL BE COME NULL AND VOID IF CONSTRUCTION IS NOT STARTED WITHIN SIX MONTHS OF PERMIT ISSUE DATE.

I HEREBY CERTIFY THAT I AM THE OWNER OF RECORD OF THE NAMED PROPERTY, OR THAT I HAVE BEEN AUTHORIZED BY THE OWNER TO MAKE THIS APPLICATION AS THEIR AGENT. I AGREE TO CONFORM TO ALL APPLICABLE LAWS OF THIS JURISDICTION. IN ADDITION, IF THIS PERMIT IS ISSUED, I CERTIFY THAT THE CODE OFFICIAL OR HIS REPRESENTATIVE SHALL HAVE THE AUTHORITY TO ENTER ALL AREAS COVERED BY SUCH PERMIT AT ANY REASONABLE HOUR FOR THE PURPOSES OF INSPECTING SAID WORK.

PRINTED NAME Cynthia MacDonald David and Natalie Truesdell OWNER/AUTHORIZED AGENT

SIGNED Cynthia Macdonald David and Natalie Truesdell **DATE** August 22, 2022
OWNER / AUTHORIZED AGENT

APPROVED BY CODE ENFORCEMENT OFFICER _____ **YES** _____ **NO**

SIGNED James Mayberry **DATE** 8/26/22

ESTIMATED COST INCLUDING MATERIALS & LABOR $ _____

PERMIT FEE: $56.60
(SEE PAGE 4 FOR PERMIT FEE SCHEDULE)

PAID: CASH _____ **CHECK#** 2224 8/31/22

General Notes:

1. All materials, workmanship, design, and construction shall conform to the drawings, specifications, and to the most recent edition of state, local and federal regulations.

2. Install all materials, products and fixtures per the manufacturer's installation requirements.

3. For additional information on building systems and components refer to the Specifications.

4. Plan dimensions are to the face of studs and face of foundation, unless otherwise noted. Do not scale any drawings for dimensions undefined.

5. Drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, the contractor shall use similar details of construction.

6. At each phase of work, the Contractor shall verify all relevant grades, existing dimensions, member sizes, and conditions prior to commencing any work.

Grant of License

In consideration of payment for these construction documents, Ross Chapin Architects (RCA) grants Licensee a nonexclusive right to use and to construct ONE structure from these documents. Additional licenses may be obtained by contacting the RCA office. RCA reserves all rights not expressly granted to Licensee.

Stock Plan General Notes & Disclaimers

1) These drawings have been prepared to meet generally accepted professional standards and practices, but have been developed without knowledge of or reference to the Licensee's specific site or geographical location. Local site conditions, such as frost depth, soil bearing capacity, seismic and wind zones, exposure, etc. may vary. Local code requirements for such life-safety requirements as stair width, stair rise and run, egress windows and smoke detectors, etc. may vary. The strength of materials (such as lumber) available locally may vary. **Therefore, supplemental to these documents, it is the Licensee's responsibility to consult with his/her local builder and a professional designer or structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/bylaws and regulations, etc., and are appropriate to specific site conditions. Compliance with such requirements shall take precedence over these documents. The Licensee has the responsibility for contracting a professional engineer to provide stamped & signed engineering drawings, details and calculations.**

2) Any use of this information without adaptation to changes in codes, standards, site conditions and other factors is at the Licensee's sole risk. Ross Chapin Architects (RCA) assumes no responsibility for changes made to these plans by others and makes no warranties, either expressed or implied, in the use of these plans. The Licensee agrees to defend and indemnify RCA for all claims, costs, losses or damages resulting from the use of these documents.

3) Before starting construction, it is the builder's responsibility to check all dimensions and details, and verify conformance with governing code requirements for the geographic area in which the house is to be built. All structural, mechanical and electrical requirements shall also be reviewed before construction begins. Codes govern over drawings and dimensions govern over scale. Notify the architect of dimensional discrepancies.

4) RCA has not been engaged for construction supervision of any kind and assumes no responsibility to ensure that construction conforms to these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

5) RCA retains ownership of the construction documents and all subsequent copies of the works regardless of the form of the original and other copies. This is not a sale of the original documents whatsoever.

6) These drawings and specifications are copyrighted. Unauthorized copying of these documents is expressly forbidden. The Licensee is granted the right to make copies as needed for the construction of one (1) building per plan purchase. Any other copying is unauthorized. The Licensee may be held legally responsible for any copyright infringement that is caused or encouraged by the failure to adhere to the terms of this agreement.

Project Information

Licensee:

Address:

Email:

Building Site Address:

Site Phone:

Parcel Number:

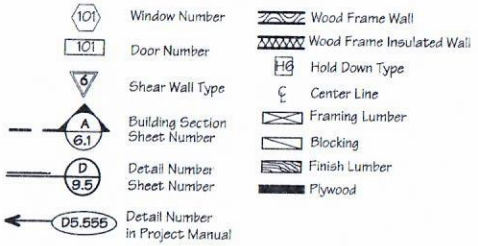
Legal Description:

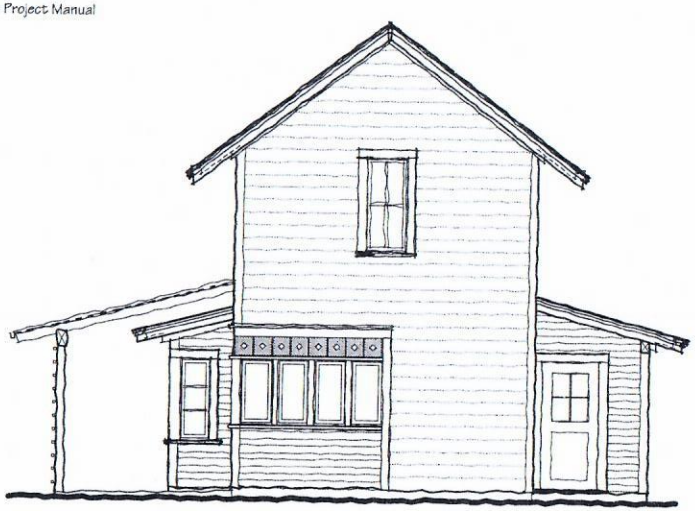
Building Areas:	First Floor	606 SF
	Second Floor	480 SF
	Total Heated Living Area	**1086 SF**
	Covered Porch	210 SF

Schedule of Drawings

Sheet #	Contents
1.1	Cover Sheet, Project Information, Key, Abbreviations
4.1	First Floor Plan
4.2	Second Floor Plan
5.1	Foundation and First Floor Framing Plan
5.2	Second Floor Framing Plan
5.3	Roof Framing Plan
6.1	Section A-A, Building Systems
7.1	Front Elevation
7.2	Side Elevation
7.3	Back Elevation
7.4	Side Elevation
8.1	First Floor Electrical Plan
8.2	Second Floor Electrical Plan
9.01	Interior Elevations
11.1	Window Schedule, Door Schedule
11.2	Shear and Holddown Schedule
	Construction Specifications Appendix

Symbol Legend





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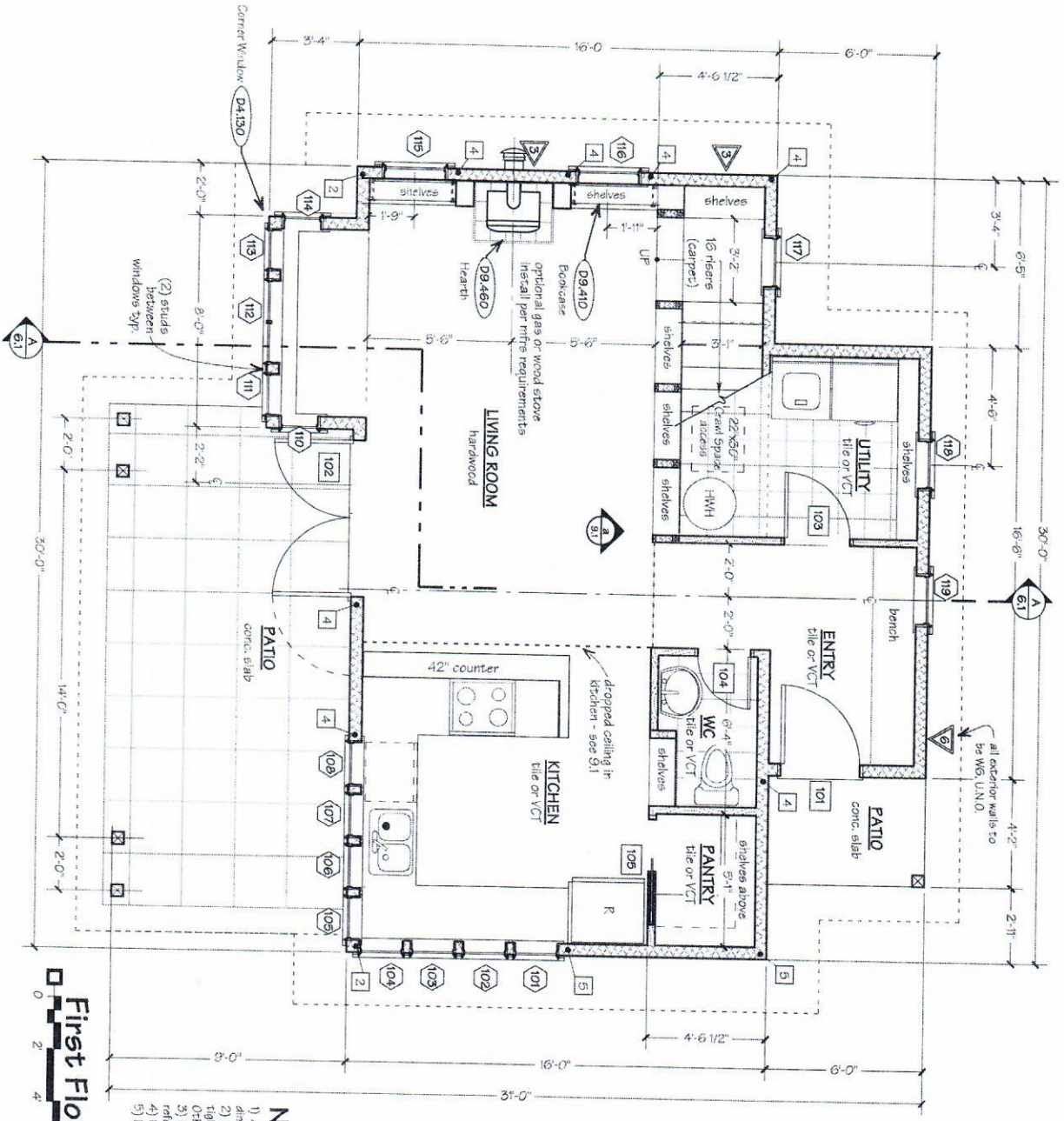
Brightside

1.1 GENERAL



First Floor Plan

0 2 4 8'

Notes:

1) At each phase of the work, verify all relevant dimensions before proceeding with the Work.
2) Frame doors so that full width interior trim is flush to wall or corner, Unless Noted Otherwise(U.N.O)
3) For additional information on building systems refer to Sheet 6.1 & Project Manual.
4) Refer to Elevation Sheets for header heights.
5) Electric meter and Hose Bib to be field located.

4.1 PLAN

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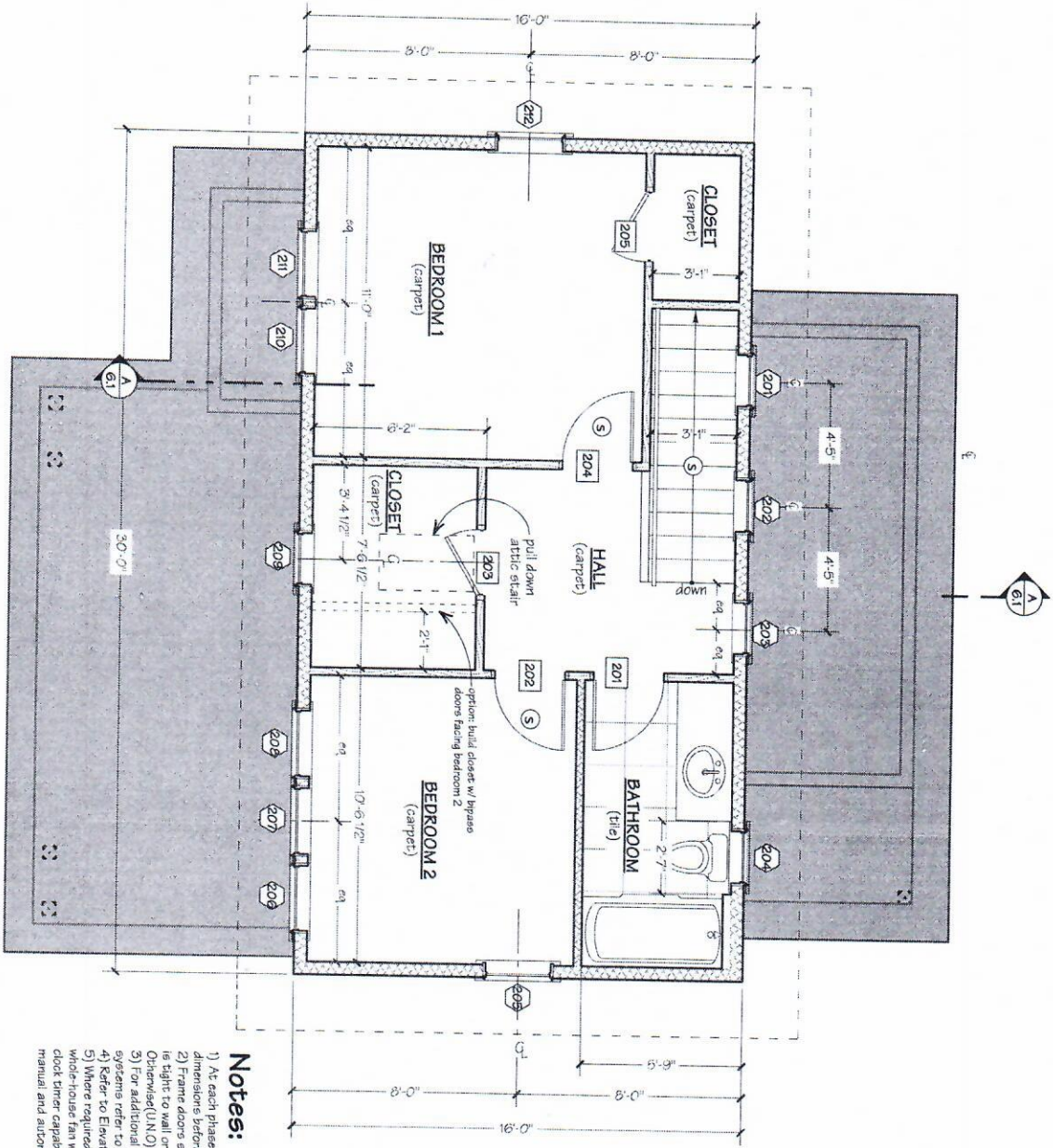

Second Floor Plan

0 2 4 8'

Notes:

1) At each phase of the Work, verify all relevant dimensions before proceeding with the Work.
2) Frame doors so that full width interior trim is tight to wall or corner, Unless Noted Otherwise(U.N.O)
3) For additional information on building systems refer to Sheet 6.1 & Project Manual.
4) Refer to Elevation Sheets for header heights.
5) Where required by code, provide a whole-house fan with an accessible 24-hour clock timer capable of continuous operation, manual and automatic control.

4.2 PLAN

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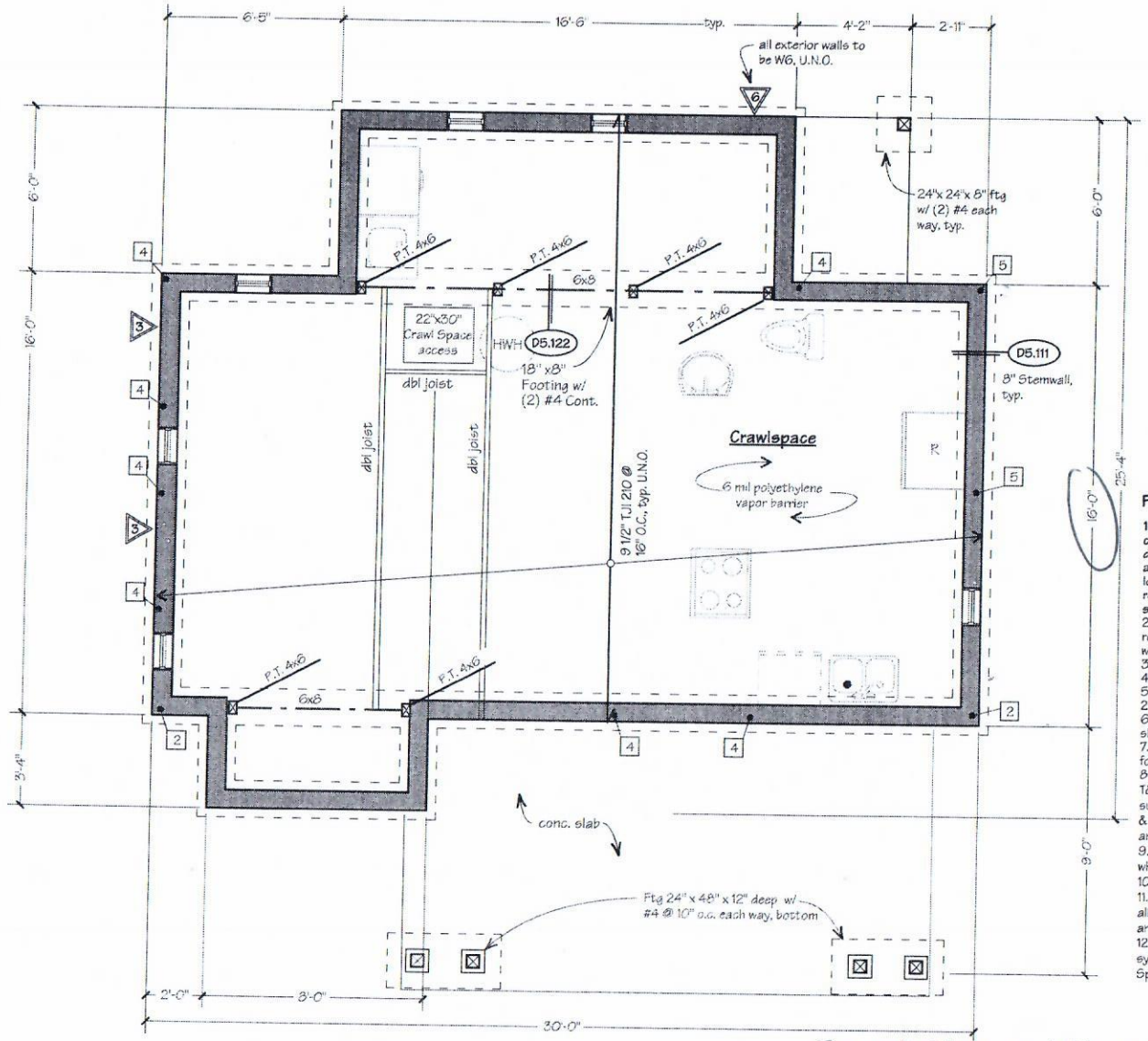
Crawlspace Ventilation Requirements
(1.0sf ventilation per 150sf crawlspace area)
Crawlspace Area: 606 sf
(Requires 4 sf ventilation)

(6)Foundation vents
.67x1.33x.75 efficient = 4 sf



Framing Notes

1.) It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/ bylaws and regulations, etc., and are appropriate to specific site conditions.
2.) At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3.) Exterior studs - 2x6 HF #2 @ 16" o.c.
4.) All walls to be SW1 U.N.O.
5.)All door and window headers are (2) 2x6 HF #2, except as noted.
6.) The bottom of all exterior footings shall be below local frost level.
7.) Note that contractor is responsible for location of holddowns.
8.)Typical floor framing consists 3/4" T&G plywood, face grain perpendicular to supports over TJI framing per plan. Glue & nail sheathing with 8d @ 6" o.c. edges and 12" o.c. field.
9.)Block for (1) joist space @ 16" o.c. where joists are parallel to wall.
10.) Use double joists where indicated.
11.) Provide (2) bearing studs each end of all headers over 4 feet in length, beams, and girder trusses, UNO.
12.) For additional information on building systems refer to Sheet 6.1, Details and Specifications in the Project Manual.

Foundation and First Floor Framing Plan

0 2' 4' 8'

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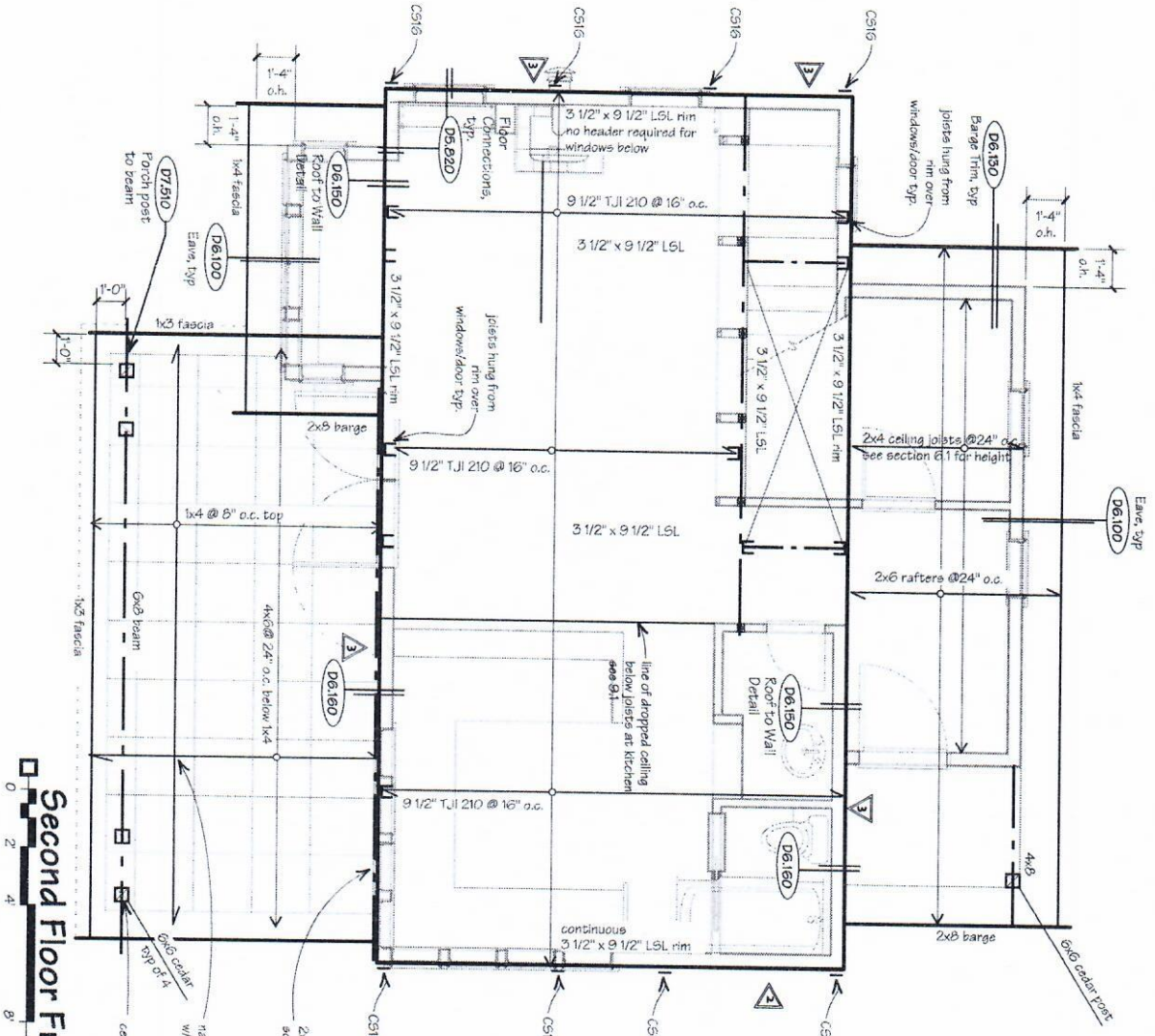
5.1 FRAMING



Second Floor Framing Plan

0 2' 4' 8'

Framing Notes

1.) **It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/ bylaws and regulations, etc., and are appropriate to specific site conditions.**
2.) At each phase of the work, verify all relevant dimensions before proceeding with the work.
3.) Exterior studs - 2x6 HF #2 @ 16" o.c.
4.) All walls to be SPF U.N.O.
5.) All door and window headers are (2) 2x6 HF #2, except as noted.
6.) 2. Typical floor framing consists 3/4" T&G plywood, face grain perpendicular to supports over TJI framing per plan. Glue & nail sheathing with 8d @ 6" o.c. edges and 12" o.c. field.
7.) Note that contractor is responsible for location of holddowns.
8.) Floor, wall, roof sheathing per Specifications.
9.) Block for (1) joist space @ 16' o.c. where joists are parallel to wall.
10.) Use double joists where indicated.
11.) Provide (2) bearing studs each end of all headers over 4 feet in length, beams, and girder trusses, UNO.
12.) For additional information on building systems refer to Sheet G1, Details and Specifications in the Project Manual.

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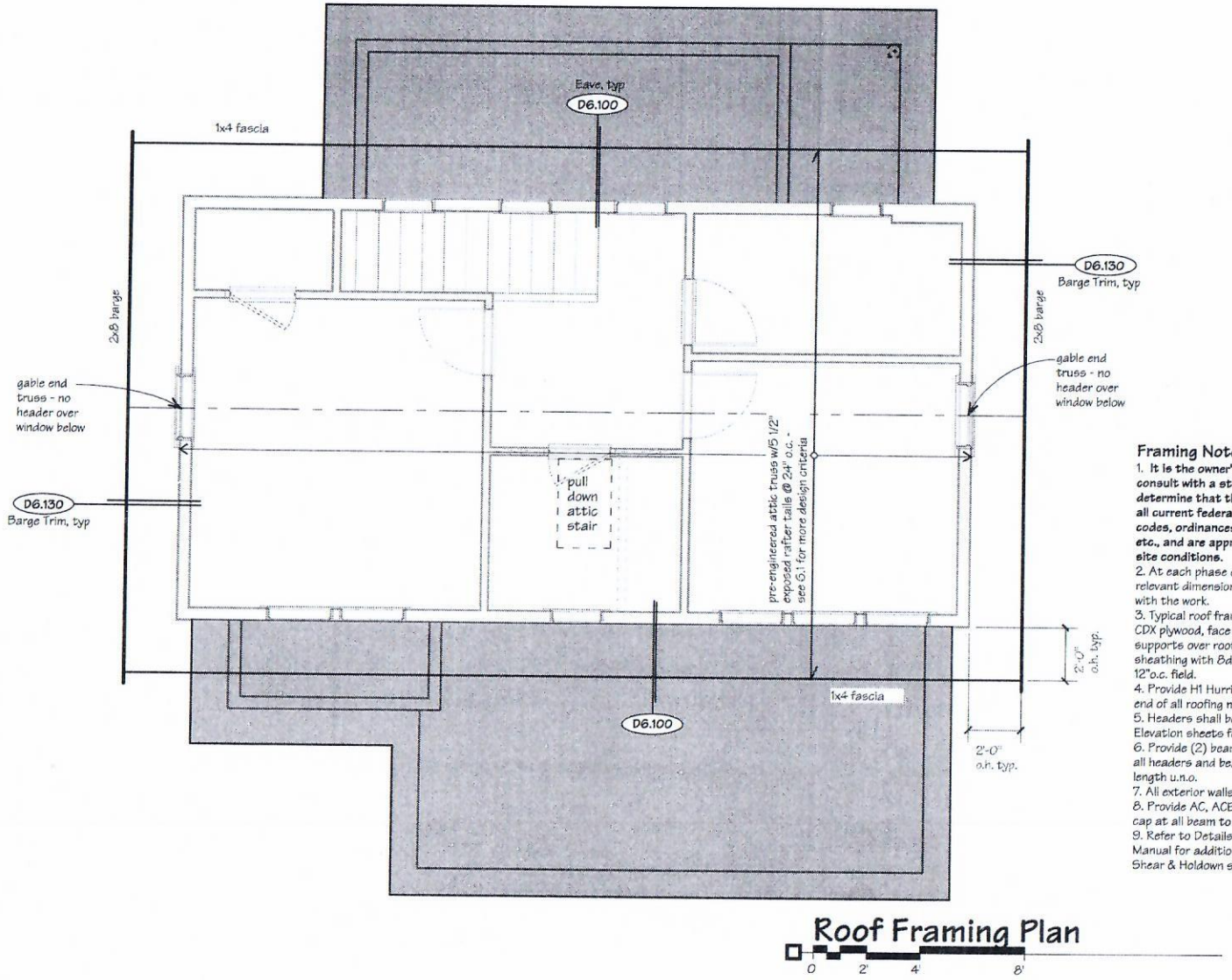

Roof Framing Plan

Framing Notes

1. **It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state and local codes, ordinances and regulations, etc., and are appropriate to specific site conditions.**
2. At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3. Typical roof framing consists of 1/2" CDX plywood, face grain perpendicular to supports over roof framing per plan. Nail sheathing with 8d at 6"o.c. edges, 12"o.c. field.
4. Provide H1 Hurricane tie to each eave end of all roofing members.
5. Headers shall be (2) 2x6 u.n.o. See Elevation sheets for header heights.
6. Provide (2) bearing studs each end of all headers and beams over 6'-0" in length u.n.o.
7. All exterior walls shall be SW1 u.n.o.
8. Provide AC, ACE, LPC, or LCE column cap at all beam to column connections.
9. Refer to Details & Notes in Project Manual for additional requirements and Shear & Holdown schedules.

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5.3
FRAMING

Building Systems

Main Roof Systems
Roofing: asphalt composition roofing
15# felt
5/8" CDX plywood sheathing
At eaves: 5/8" LP SmartSide Panel w/ 4" grooves perpendicular to rafters
Pre-manufactured attic truss w/ 14" raised heel, 2x6 top chord, 2x8 or 2x10 bottom chord, attach to wall w/ Simpson H1
12" (R43) fiberglass insulation
5/8" gypsum wallboard
Vapor barrier: PVA sealer (heavy coat for 1.0 perm rating)
Paint per schedule

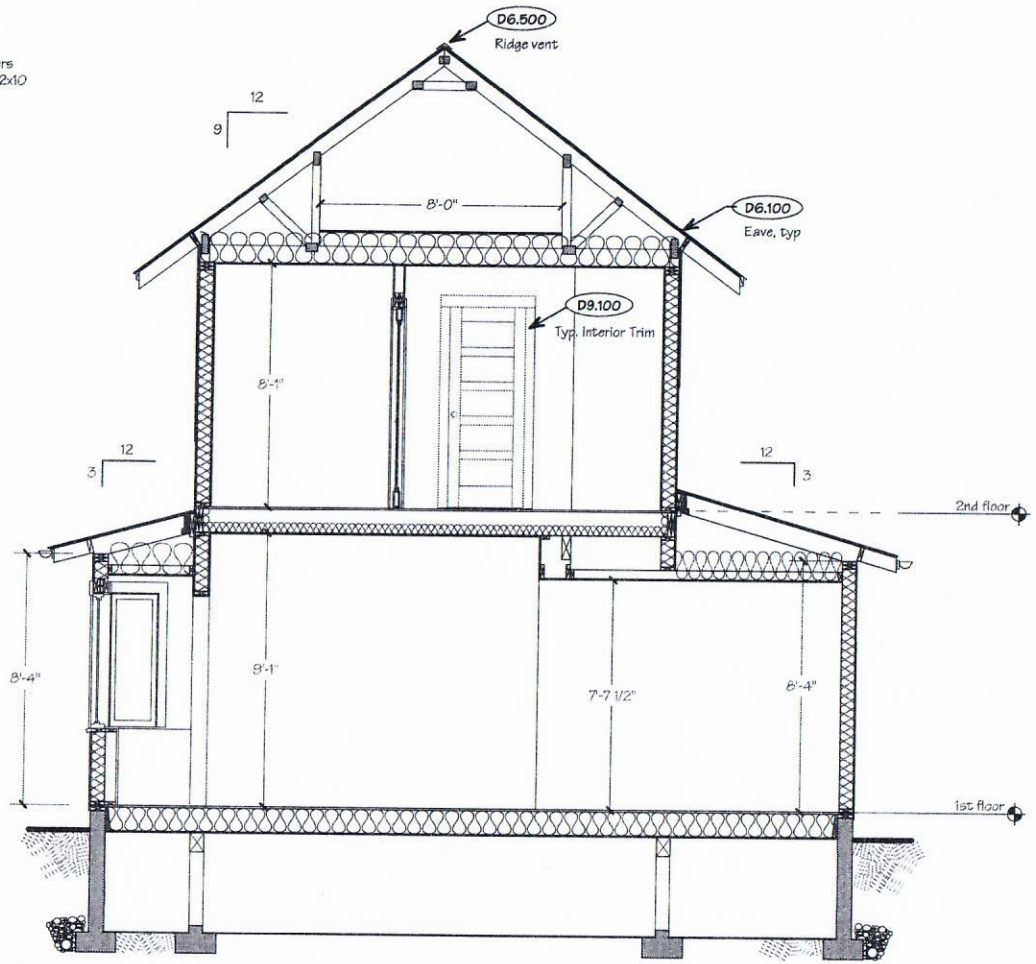
Porch Roof Systemh
Corrugated polycarbonate panels, clear, with
Matching wood nailing strips at 32" o.c.
1x4 cedar skip sheathing @ 8" o.c. natural finish
4x6 rafters @ 24" o.c.

Second Floor System
Flooring per plan
3/4 " CDX t&g plywood - glue and screw
Joists per plan
3 1/2" accoustical insulation
5/8" gypsum wallboardh or 1x6 pine t & g w/light whitewash stain

First Floor System
Flooring per plan
3/4" CDX t&g plywood - glue & nail
Joists per plan
R30 fiberglass batt insulation

Wall System
Siding: 5/16" fiber-cement, exposure and pattern per elevations
Weather-resistive barrier
Sheathing per shear schedule
Exterior wall framing: 2x6 HF #2 @ 24" o.c. U.O.N.
Insulation: 5 1/2" blown in blanket spray insulation (R22)
Interior surface: 1/2" Ggypsum wallboard
Vapor barrier: PVA sealer (1.0 perm rating)
Interior paint: per schedule

Foundation System
2x6 pressure treated sill over sill sealer
8" concrete stemwall
8" x 16" concrete footing
Reinforcing and holddowns per structural



Section A-A

0 2 4' 8'

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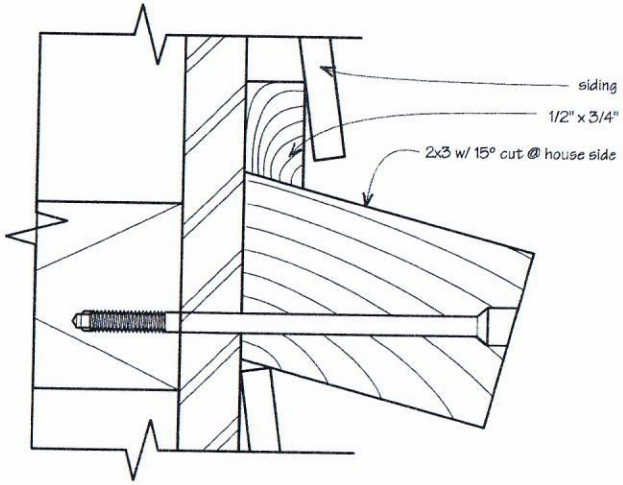
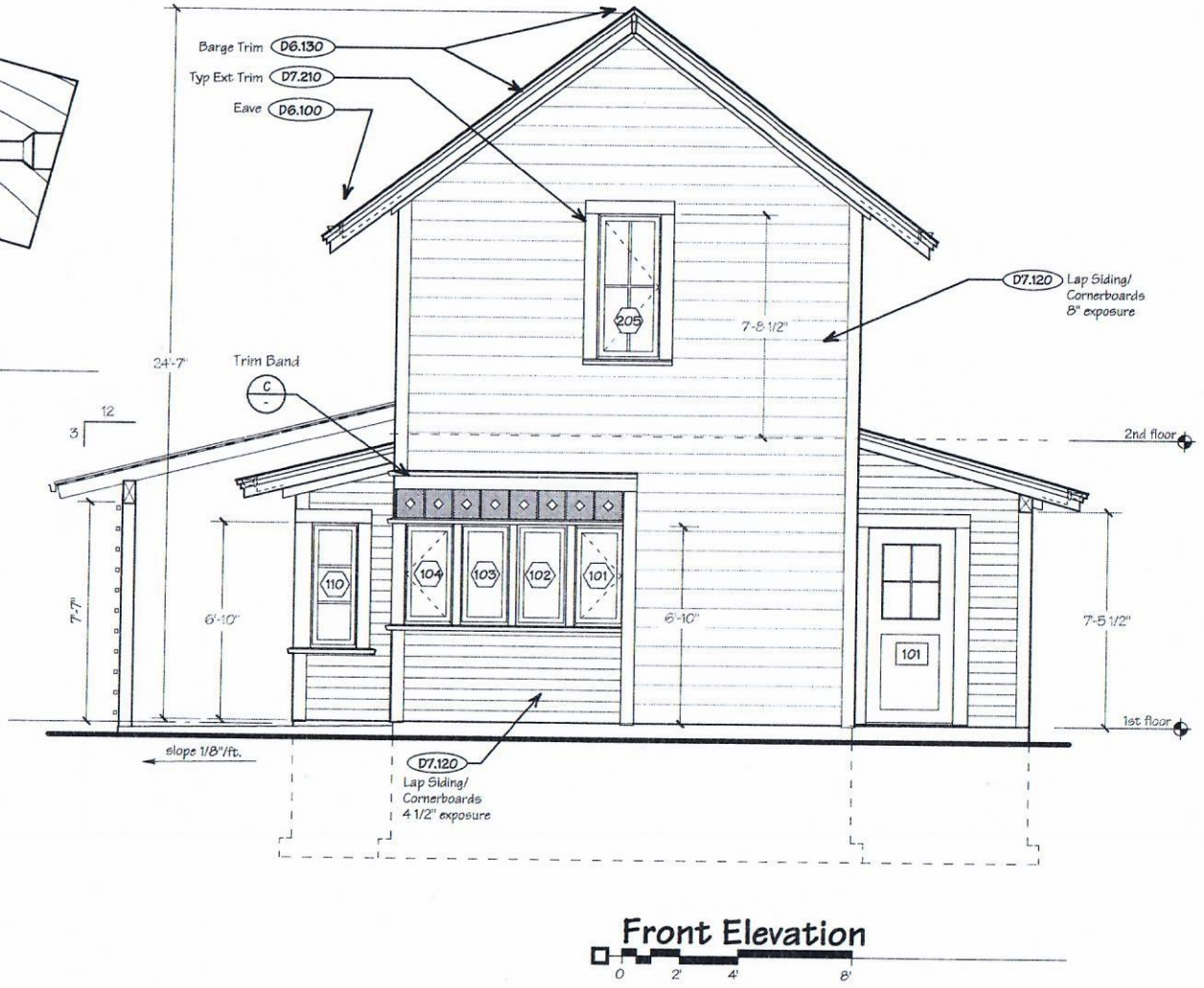
Brightside

6.1 SECTION



Trim Band

0 1/2" 1" 2"



Front Elevation

0 2' 4' 8'

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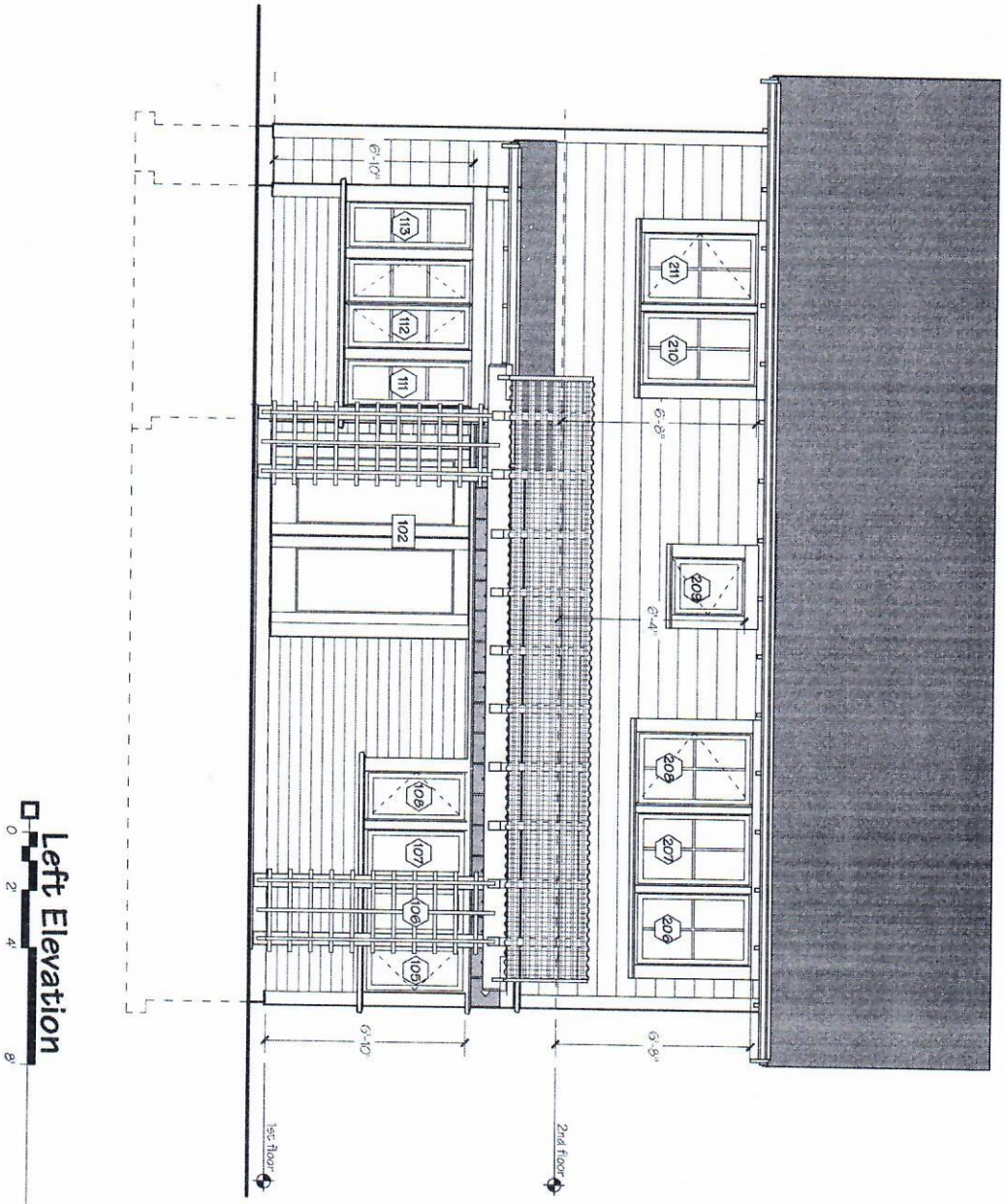
7.1 ELEVATION



7.2
ELEVATION

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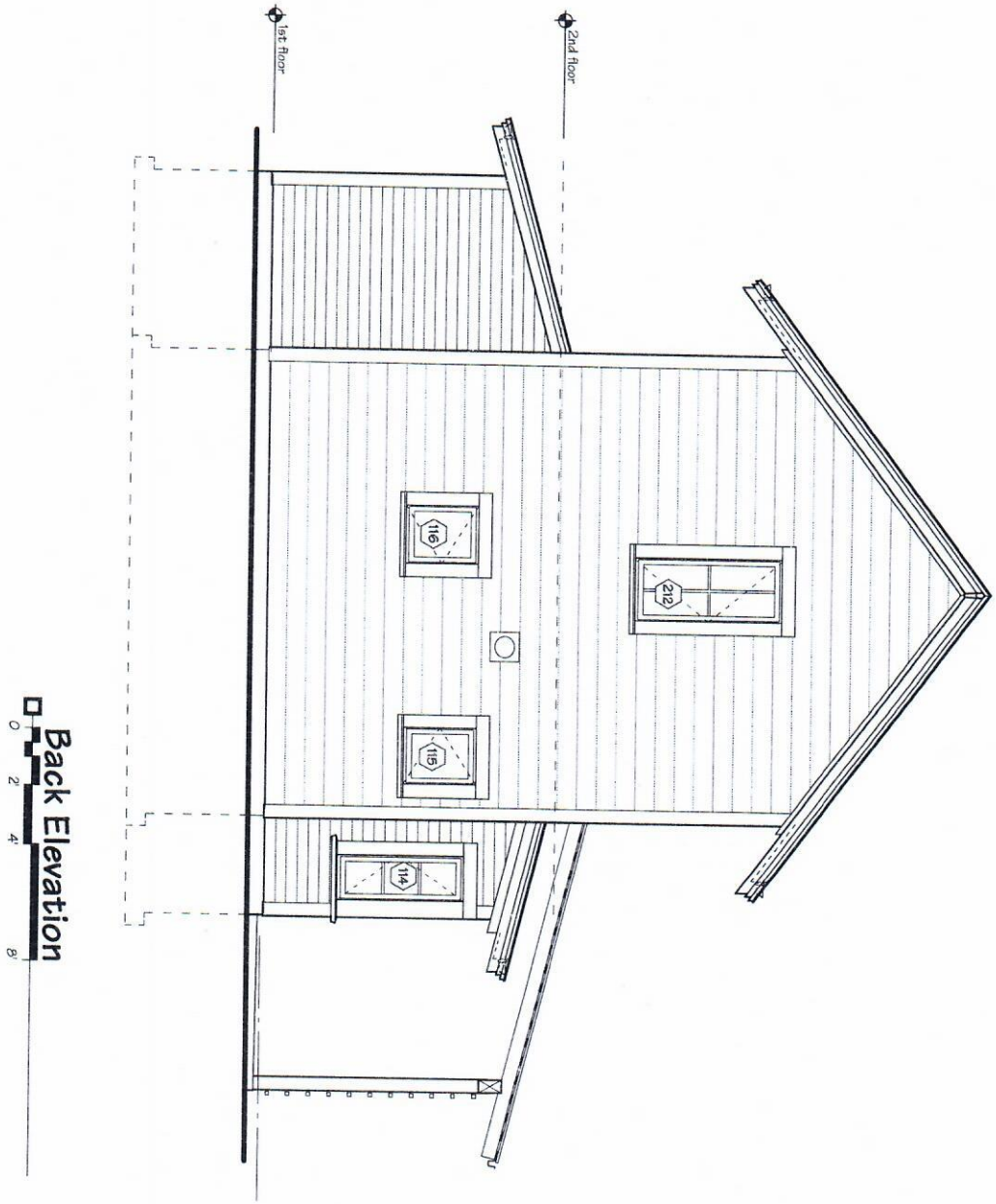

7.3
ELEVATION

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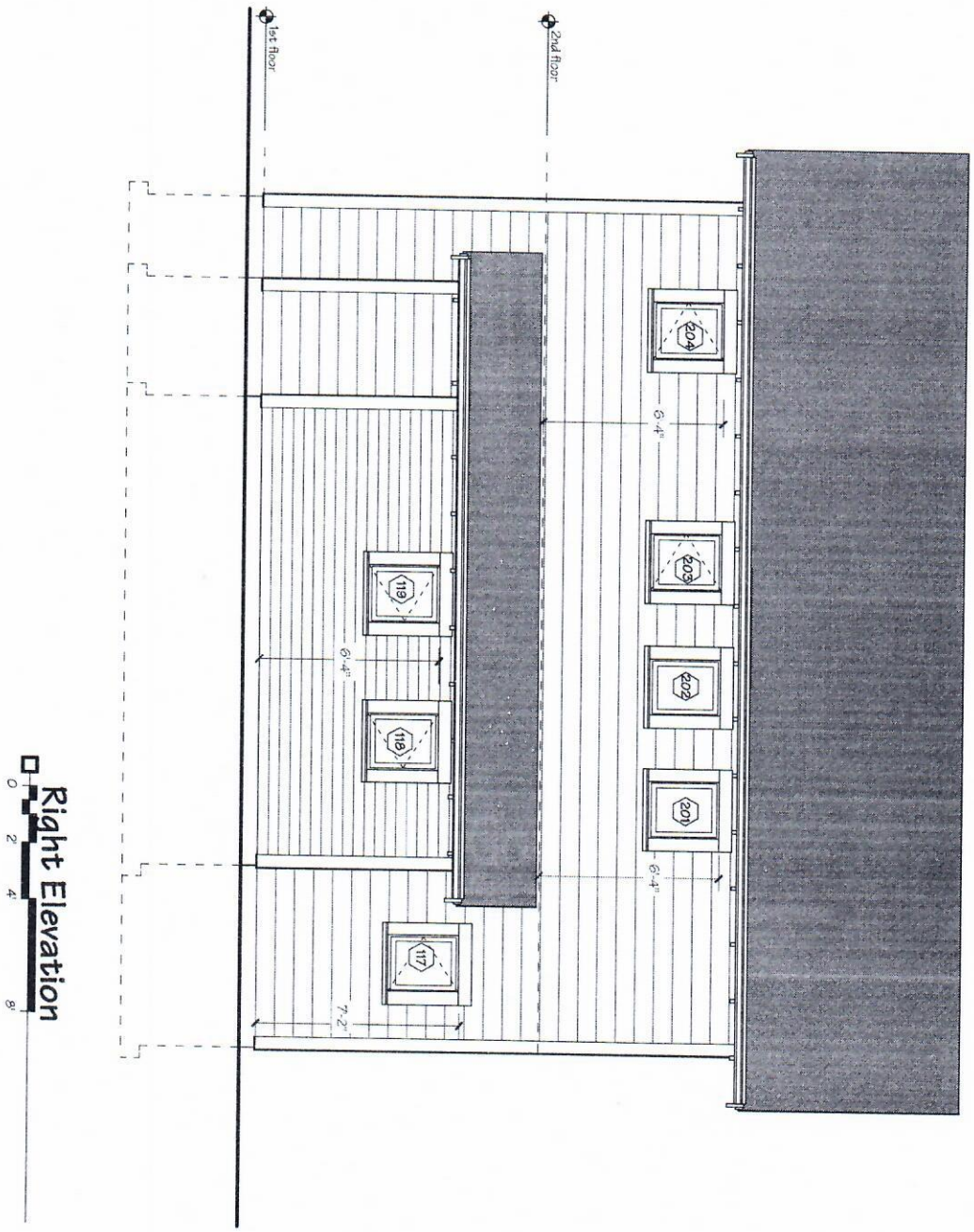

Right Elevation

0 2 4 8'

7.4
ELEVATION

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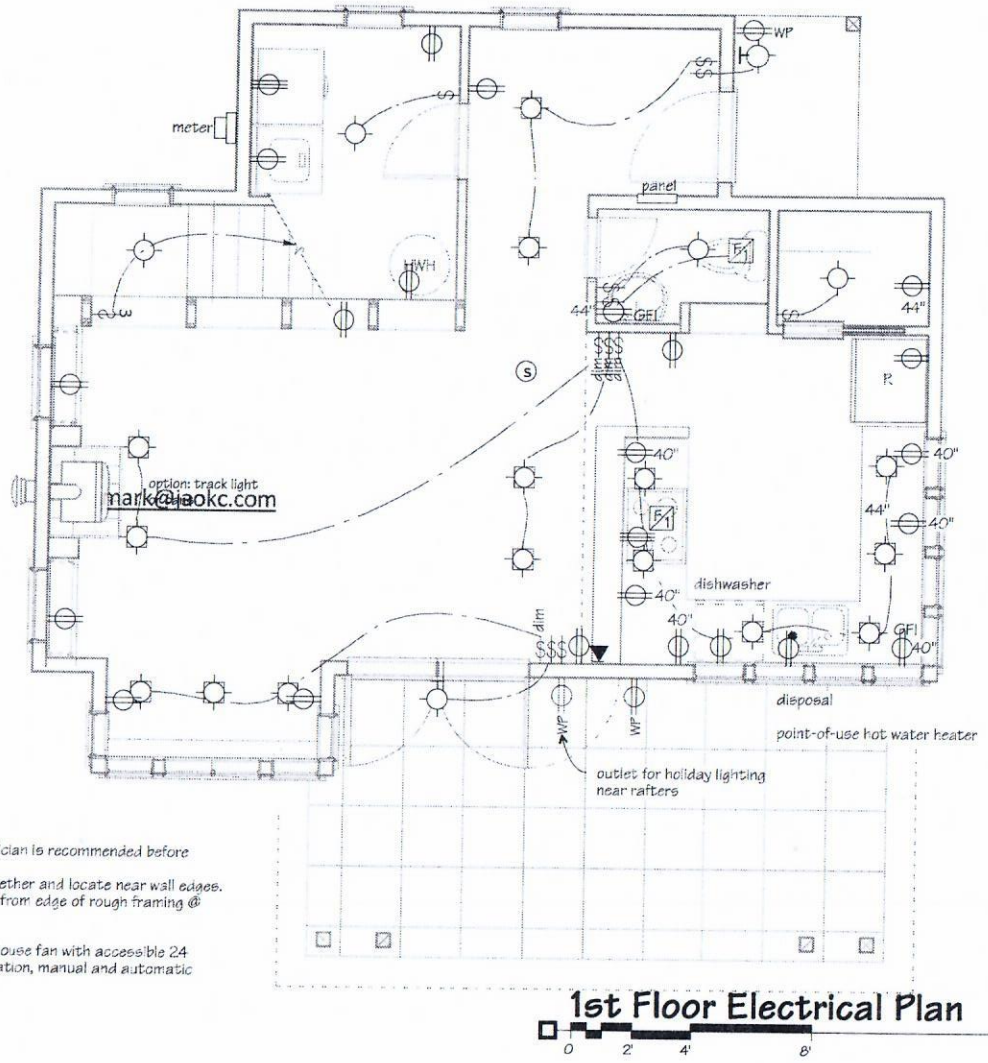

1st Floor Electrical Plan

0 2' 4' 8'

Notes:
1) A walk-through with the owner and electrician is recommended before proceeding with the installation.
2) Where possible, gang electrical boxes together and locate near wall edges.
3) Unless otherwise noted, allow 4 1/2" min. from edge of rough framing @ wall end to electric boxes.
4) Meter to be field located
5) Where required by code, provide a whole-house fan with accessible 24 clock timer w/ capability of continuous operation, manual and automatic control.

Electrical Key

Type	Description
	wire
	110v Duplex Outlet
44"	110v outlet (44" above floor)
	110v Outlet (Switched)
WP	110v Outlet (Water Proof)
GFI	110v Outlet (Ground Fault Int.)
	220v Outlet
J	Junction Box
	Light (Overhead)
P	Light (Pendant)
	Light (Wall Mount)
	6" Light (Insul Recessed Can)
	Light (Exposed Can)
	Light (Recessed w/ Eyeball)
	4' (2) Lamp Flouresecent
	4' (1) Lamp Flouresecent
PC	2' (1) Lamp Flouresecent, Pull Chain
	Live feed track light
	Track Light Head
	Switch (Single Pole)
dim	Switch (w/ Dimmer)
3	Switch (3-way)
4	Switch (4-way)
T	Switch (w/timer)
S	Smoke Detector
TV	Television Cable
	Phone Jack
T	Thermostat
	Paddle Fan
	Fan 1
	Fan -Light
Htr B	Base Board Elec. Heater (length/feet)
Htr W	Wall mtd. Elec. Heater (with fan)
panel	Service Panel
meter	Electric Meter
PH	Photo Cell Switch
	Center line

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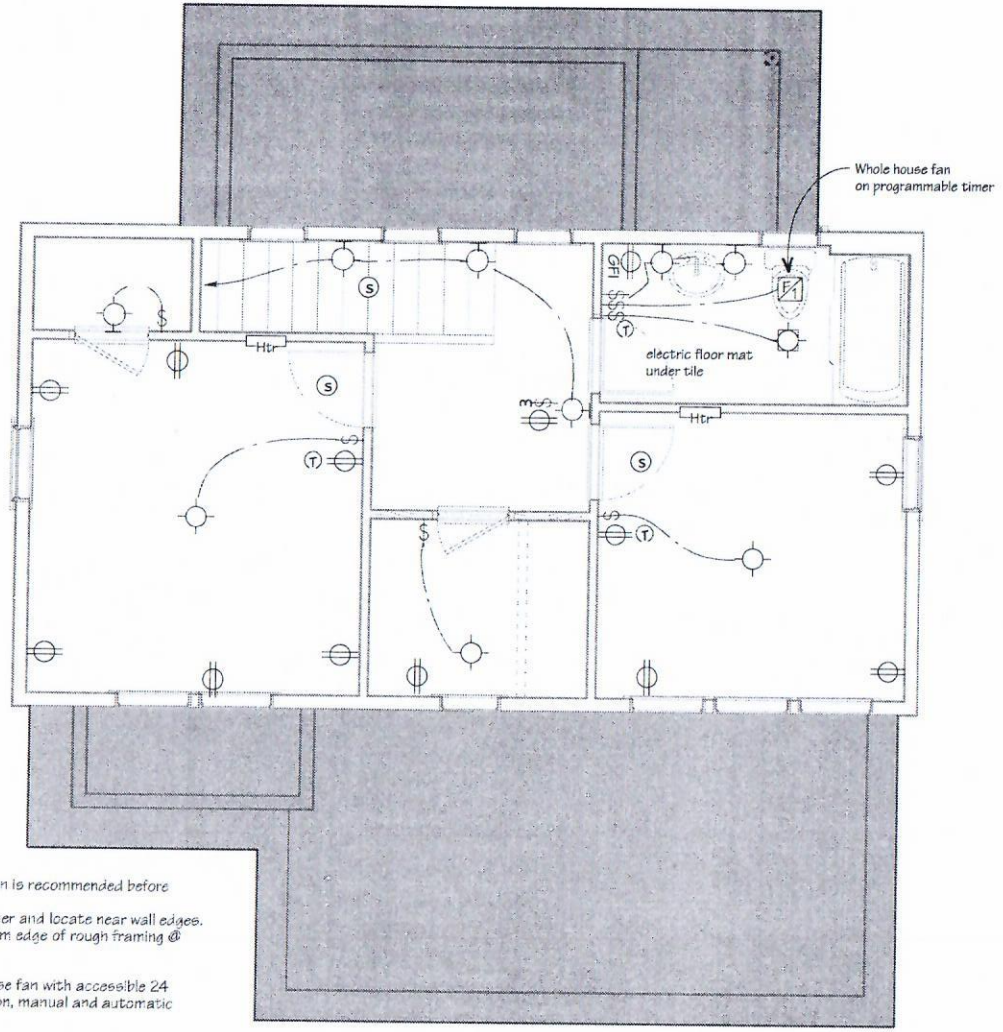
Brightside

8.1 ELECTRICAL



Electrical Key

Type	Description
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44"	110v outlet (44" above floor)
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P	Light (Pendant)
	Light (Wall Mount)
	6" Light (Insul Recessed Can)
	Light (Exposed Can)
	Light (Recessed w/ Eyeball)
	4' (2) Lamp Flourescent
	4' (1) Lamp Flourescent
PC	2' (1) Lamp Flourescent, Pull Chain
	Live feed track light
	Track Light Head
	Switch (Single Pole)
dim	Switch (w/ Dimmer)
3	Switch (3-way)
4	Switch (4-way)
T	Switch (w/timer)
S	Smoke Detector
TV	Television Cable
	Phone Jack
T	Thermostat
	Paddle Fan
	Fan 1
	Fan -Light
Htr B	Base Board Elec. Heater (length/feet)
Htr W	Wall mtd. Elec. Heater (with fan)
panel	Service Panel
meter	Electric Meter
ph	Photo Cell Switch
	Center line

Notes:
1) A walk-through with the owner and electrician is recommended before proceeding with the installation.
2) Where possible, gang electrical boxes together and locate near wall edges.
3) Unless otherwise noted, allow 4 1/2" min. from edge of rough framing @ wall end to electric boxes.
4) Meter to be field located
5) Where required by code, provide a whole-house fan with accessible 24 clock timer w/ capability of continuous operation, manual and automatic control.

Second Floor Electrical Plan

0 2' 4' 8'

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8.2 ELECTRICAL

Ⓐ Interior Elevation @ Stair Wall
3/8" = 1

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Window Schedule

Project:	Brightside House		Material:	Vinyl	Panes	2	Mullion Type:	Simulated Divided Lites
Manufacturer:	Weathervane "Vantage" or similar, except as noted		Ext. Color:	white	Low E II	Yes	Mullion Width:	3/4"
			Window Swing:	see elevations	Argon	Yes	Screens:	Yes

#	Location	Model	Description	Features					RO Width		RO Height		Notes
				Divisions	Egress	Vent (note 6)	Tempered	Obscure	ft	in	ft	in	
101	Kitchen		Casement	1 lite					1	8	3	6	
102	Kitchen		Fixed Casement	1 lite					1	8	3	6	
103	Kitchen		Fixed Casement	1 lite					1	8	3	6	
104	Kitchen		Casement	1 lite					1	8	3	6	
105	Kitchen		Casement	1 lite					1	8	3	6	
106	Kitchen		Fixed Casement	1 lite					1	8	3	6	
107	Kitchen		Fixed Casement	1 lite					1	8	3	6	
108	Kitchen		Casement	1 lite					1	8	3	6	
109													
110	Living		Fixed Casement	3 lite			•		1	7	4	4	
111	Living		Fixed Casement	3 lite					1	7	4	4	
112	Living		2 Mulled Casements	3 lite each					3	2	4	4	
113	Living		Fixed Casement	3 lite					1	7	4	4	
114	Living		Casement	3 lite					1	7	4	4	
115	Living		Casement	1 lite					2	0	2	6	
116	Living		Casement	1 lite					2	0	2	6	
117	Stair		Casement	1 lite		•	•		2	0	2	6	
118	Utility		Casement	1 lite					2	0	2	6	
119	Entry		Casement	1 lite					2	0	2	6	
201	Stair		Fixed Casement	1 lite			•		2	0	2	6	
202	Stair		Fixed Casement	1 lite			•		2	0	2	6	
203	Stair		Casement	1 lite					2	0	2	6	
204	Bath		Casement	1 lite				•	2	0	2	6	
205	Bedroom 2		Casement	4 lite	•	•			2	2	5	0	
206	Bedroom 2		Fixed Casement	4 lite					2	6	4	0	
207	Bedroom 2		Fixed Casement	4 lite					2	6	4	0	
208	Bedroom 2		Casement	4 lite					2	6	4	0	
209	Closet		Casement	1 lite					2	6	4	0	
210	Bedroom 1		Fixed Casement	4 lite					2	6	4	0	
211	Bedroom 1		Casement	4 lite					2	6	4	0	
212	Bedroom 1		Casement	4 lite	•	•			2	2	5	0	

Door Schedule

Project:							Manufacturer:	To be determined	
							Material:	Wood	

Door #	Location	Leaves	Width		Height		Thickness	Type	Notes
			ft	in	ft	in	in		
101	Entry	1	3	0	6	8	1 3/4	1 panel below, 4 lite above	tempered glass
102	Patio	2	6	0	6	8	1 3/4	Full lite	tempered glass
103	Utility	1	2	6	6	8	1 3/8	5 Panel	
104	WC	1	2	0	6	8	1 3/8	5 Panel	
105	Pantry	1	2	0	6	8	1 3/8	5 Panel, Pocket	
201	Bathroom	1	2	6	6	8	1 3/8	5 Panel	
202	Bedroom 2	1	2	6	6	8	1 3/8	5 panel	
203	Closet	1	2	4	6	8	1 3/8	5 Panel	
204	Bedroom 1	1	2	6	6	8	1 3/8	5 Panel	
205	Closet	1	2	6	6	8	1 3/8	5 Panel	

Window Notes:

1) Refer to plans for orientation of casement swing.
2) Refer to manufacturer's specifications for precise dimensions of rough openings, and installation instructions.
3) Note flare of skylight openings -- see sections.
4) Refer to Elevation Sheets for header heights.
5) Verify glazing is min. 60" above bathroom/tub floor
6) Where required by code, provide whole-house ventilation intake vents in frames of windows indicated.
7) For Egress windows,
   a) verify clear opening size with manufacturer, and
   b) verify with municipality that actual clear opening meets egress requirements.

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Brightside

11.1
SCHEDULES

Stock Plan General Notes & Disclaimers

1) These drawings have been prepared to meet generally accepted professional standards and practices, but have been developed without knowledge of or reference to the Licensee's specific site or geographical location. Local site conditions, such as frost depth, soil bearing capacity, seismic and wind zones, exposure, etc. may vary. Local code requirements for such life-safety requirements as stair width, stair rise and run, egress windows and smoke detectors, etc. may vary. The strength of materials (such as lumber) available locally may vary. **Therefore, supplemental to these documents, it is the Licensee's responsibility to consult with his/her local builder and a professional designer or structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/bylaws and regulations, etc., and are appropriate to specific site conditions. Compliance with such requirements shall take precedence over these documents.**

2) Any use of this information without adaptation to changes in codes, standards, site conditions and other factors is at the Licensee's sole risk. Ross Chapin Architects (RCA) assumes no responsibility for changes made to these plans by others and makes no warranties, either expressed or implied, in the use of these plans. The Licensee agrees to defend and indemnify RCA for all claims, costs, losses or damages resulting from the use of these documents.

3) Before starting construction, it is the builder's responsibility to check all dimensions and details, and verify conformance with governing code requirements for the geographic area in which the house is to be built. All structural, mechanical and electrical requirements shall also be reviewed before construction begins. Codes govern over drawings and dimensions govern over scale. Notify the architect of dimensional discrepancies.

4) RCA has not been engaged for construction supervision of any kind and assumes no responsibility to ensure that construction conforms to these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

5) RCA retains ownership of the construction documents and all subsequent copies of the works regardless of the form of the original and other copies. This is not a sale of the original documents whatsoever.

6) These drawings and specifications are copyrighted. Unauthorized copying of these documents is expressly forbidden. The Licensee is granted the right to make copies as needed for the construction of one (1) building per plan purchase. Any other copying is unauthorized. The Licensee may be held legally responsible for any copyright infringement that is caused or encouraged by the failure to adhere to the terms of this agreement.

NOTE: Shear Schedule must be modified and/or approved by a local Structural Engineer to meet Site Conditions

Sample Shear Schedule

Typical Notes # 1,2,3,5,6,7,9

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection		Note #
			if TJI	if 2x or LSL	at wood	at concrete	
1	1/2" CDX plywood	8d @ 6" o.c.	16d @ 6" o.c.	A35 @ 24" o.c.	16d @ 6" o.c.	5/8" dia. A.B. @ 48" o.c.	
2	1/2" CDX plywood	8d @ 4" o.c.	16d @ 4" o.c.	A35 @ 16" o.c.	16d @ 4" o.c.	5/8" dia. A.B. @ 32" o.c.	
3	1/2" CDX plywood	8d @ 3" o.c.	(2) rows 16d @ 6" o.c.	A35 @ 12" o.c.	16d @ 3" o.c.	5/8" dia. A.B. @ 16" o.c.	4
4	1/2" CDX plywood	8d @ 2" o.c.	(2) rows 16d @ 4-1/2 o.c.	A35 @ 9" o.c.	(2) rows 16d @ 4-1/2" o.c.	5/8" dia. A.B. @ 12" o.c.	4

Note:	Description
1	Block edges with 2x laid flat. Nail to intermediate supports (field nail) with 8d @ 12" o.c.
2	8d nails shall be .0131" dia. x 2-1/2" long (common) - 16d nails shall be 0.135" dia. x 3-1/2" (box)
3	Embed anchor bolts at least 7". Expansion bolts may be substituted for anchor bolts with 4" embedment. All bolts shall have 3 x 3 x 1/4" galv. plate washers.
4	3x studs or double studs nailed together with base plate nailing are required at SW3 & SW4. Where 3x studs are used for SW4, stagger nails at adjoining panel edges.
5	Two studs minimum are required at each end of all shearwall and end studs shall receive panel edge nailing.
6	All exterior walls shall be SW1, U.N.O
7	7/16" OSB may be substituted for 1/2" CDX.
8	LTP4's may be substituted for A35's at contractor's option
9	Studs must align within 5" of trusses, rafters or joist spaced more than 16" oc.

NOTE: Hold Down Schedule must be modified and/or approved by a local Structural Engineer to meet Site Conditions

Sample Holdown Schedule

Call-out	Hardware	Screws	Anchor Bolt	Embed	Holdown Post[3]	
					if 2x4	if 2x6
2	HDU2-SDS2.5	(6)SDS 1/4"x 2-1/2"	5/8" dia.	12"	(2) 2x4	(2) 2x6
4	HDU4-SDS2.5	(10)SDS 1/4"x 2-1/2"	5/8" dia.	12"	4x4	4x6
5	HDU5-SDS2.5	(14)SDS 1/4"x 2-1/2"	5/8" dia.	12"	4x4	4x6
8	HDU8-SDS2.5	(20)SDS 1/4"x 2-1/2"	7/8" dia.	14"	4x4	4x6
11	HDU11-SDS2.5	(30)SDS 1/4"x 2-1/2"	1" dia.	16"	4x8	6x6

Notes:	
	1) Cast in: Headed bolt or all-thread w/ washer & nut
	2) Block solid in joist space (where occurs) under column, typ.
	3) Minimum size of post at end of wall unless otherwise noted on framing plans

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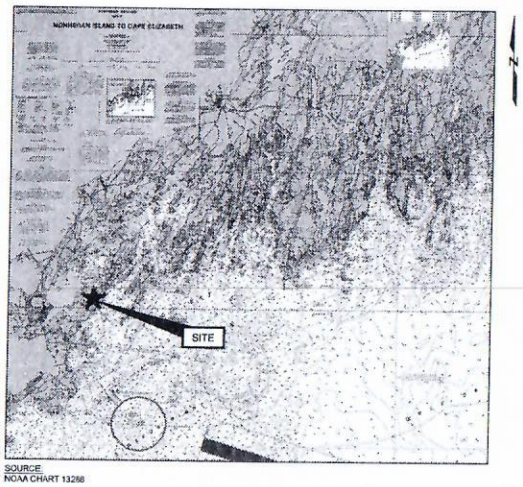
MACDONALD STRUCTURAL FRAMING

CINDY MACDONALD
LONG ISLAND, ME



SOURCE
NOAA CHART 13288

NOAA CHART 13288
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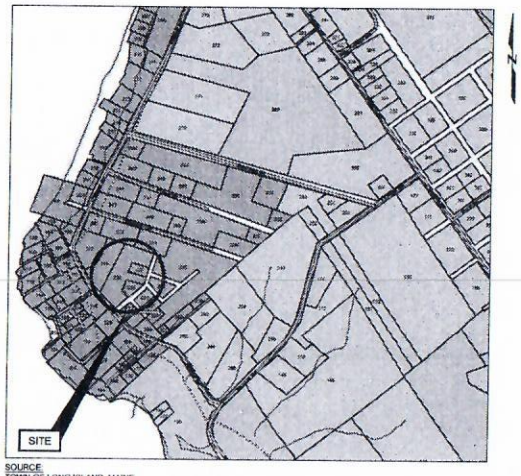

SOURCE
TOWN OF LONG ISLAND, MAINE

LONG ISLAND TAX MAP
(NOT TO SCALE)

SHEET INDEX

SHEET NO.	DRAWING NO.	TITLE
1	G-001	COVER SHEET
2	G-002	NOTES & TYPICAL DETAILS
3	S-001	FOUNDATION
4	S-002	FIRST FLOOR PLAN
5	S-003	SECOND FLOOR & ROOF PLAN
6	S-004	TYPICAL SECTION

PREPARED FOR:

CINDY MACDONALD
65 ISLAND AVE
LONG ISLAND, MAINE

PREPARED BY:

GEI CONSULTANTS, INC.
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(207)797-8901

GEI Consultants

GEI PROJECT NO. BDC 21-44

NO.	DATE	ISSUE/REVISION	APP
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A	1/11/2022	STRUCTURAL FRAMING CONCEPT	BJB

STATE OF MAINE
BARNEY J. BAKER
No. 5737
LICENSED PROFESSIONAL ENGINEER

DWG. NO.
G-001

SHEET NO.
1 OF 6

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STRUCTURAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH PROVISIONS OF MAINE UNIFORM BUILDING AND ENERGY CODE (MUBEC). MUBEC IS MADE UP OF THE FOLLOWING CODES AND STANDARDS:
   - 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
   - 2015 INTERNATIONAL BUILDING CODE (IBC)
   - 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
   - 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2. THE CONTRACTOR SHALL COORDINATE ALL WORK SHOWN ON STRUCTURAL PLANS WITH WORK OF OTHER DISCIPLINES.
3. THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE OF A SIMILAR CHARACTER TO DETAILS SHOWN USE SIMILAR DETAILS OF CONSTRUCTION.
4. PROJECT DATUM BASED ON EXISTING FLOOR LEVELS. EXISTING AND PROPOSED ELEVATIONS TO BE CROSS REFERENCED WITH A SITE BENCHMARK TO BE ESTABLISHED BY ARCHITECT.
5. DESIGN LOAD CRITERIA

DEAD LOADS	MATERIAL SELF-WEIGHT + 5 PSF PARTITION LOADING	
LIVE LOADS	FLOOR:	40 PSF LIVING AREAS 60 PSF DECKS 30 PSF BEDROOM
	ROOF:	60 PSF SNOW LOAD INCREASED FOR DRIFTING AND SLIDING
BASIC WIND SPEED	100 MPH (EXPOSURE CATEGORY C)	
GROUND SNOW	60 PSF (I=1, CE = 0.7)	

SUBMITTALS

1. CONCRETE MIX DESIGN
2. MANUFACTURERS DETAILS INSTRUCTIONS FOR INSULATED BLOCK SYSTEM
3. CERTIFICATES FOR ENGINEERED LUMBER.
4. CONNECTION HARDWARE
5. ADDITIONS OR SUBSTITUTIONS FROM THAT SPECIFIED ON THE STRUCTURAL DRAWINGS.

REINFORCED CONCRETE

1. STRUCTURAL REINFORCED CONCRETE AND REINFORCING SHALL BE PLACED IN ACCORDANCE WITH THE ACI 301 AND 318 CONCRETE SPECIFICATIONS AND BUILDING CODE REQUIREMENTS.
2. ALL CONTROL AND CONSTRUCTION JOINTS SHALL BE AS DETAILED AND PLACED IN LOCATIONS AS SHOWN ON THE DRAWINGS.
3. MIX DESIGN

	f'c (psi)	Max agg size	Entrained air (%)	Min cement Content lbs/cy	Max W/C Ratio
WALLS AND FOOTINGS	3000	3/4"	6 +/- 1	650	45

4. REINFORCING STEEL SHALL CONFORM TO ASTM A615, AND SHALL BE DEFORMED BAR HAVING A MINIMUM YIELD STRENGTH Fy = 60 KSI
5. MINIMUM COVER TO REINFORCEMENT.
   - CONCRETE POURED AGAINST EARTH..... 3"
   - SLABS AND WALLS..... 1 1/2"
6. CONCRETE SHALL BE WET CURED FOR 7 DAYS.
7. ALL EXPOSED CONCRETE TO HAVE ¾" CHAMFER.

FOUNDATION DESIGN

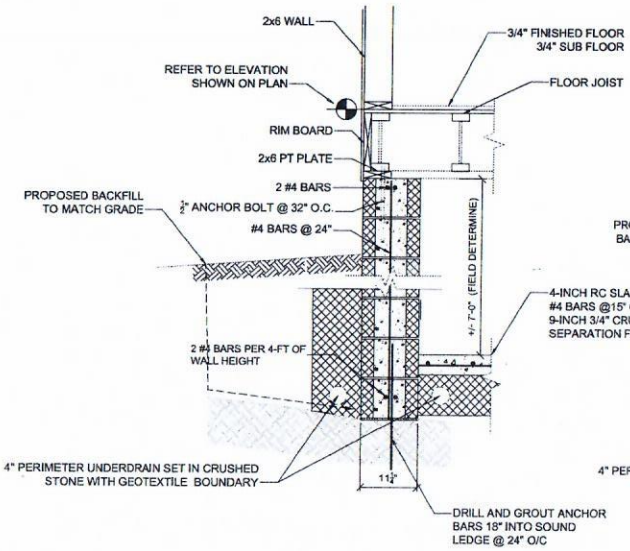
1. ALL FOUNDATIONS SHALL BE PINNED TO EXISTING LEDGE ONSITE AS DETERMINED.
2. IF LEDGE IS DETERMINED NOT TO BE PRESENT, THE FOLLOWING BEARING AND FROST PROTECTION CRITERIA MAY BE USED AFTER FILED INSPECTION OF SUBSURFACE CONDITIONS BY THE ENGINEER.
   - ALLOWABLE BEARING PRESSURE..... 2000 PSI
   - FROST PENETRATION..... 4.5 FT
3. BACKFILL FOUNDATION WALLS WITH CLEAN GRAVEL BACKFILL MATERIAL.
4. THE CONTRACTOR SHOULD BE PREPARED TO MAINTAIN GROUNDWATER AT OR BELOW SUBGRADE ELEVATION. EXCAVATION FOR FOOTINGS SHOULD BE MADE WITH A SMOOTH EDGED BUCKET TO MINIMIZE DISTURBANCE TO THE NATIVE SUBGRADE.
5. PROVIDE 6 INCH CRUSHED STONE DRAINAGE LAYER BELOW ALL SLABS.

TIMBER

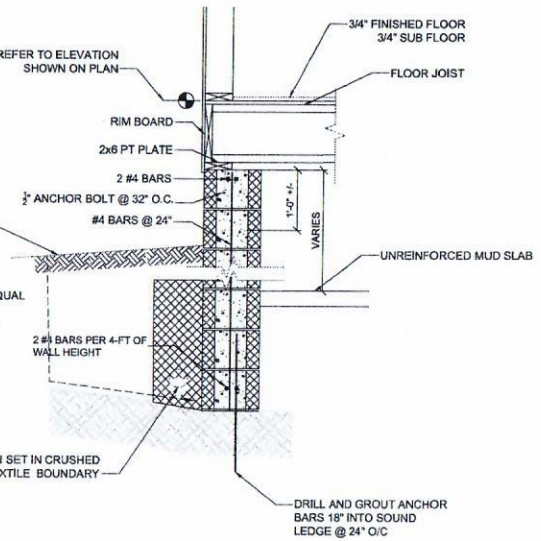
1. STRUCTURAL FRAMING MATERIAL SHALL BE DIMENSION LUMBER THAT MEETS THE PS20 REQUIREMENTS OF THE AMERICAN SOFTWOOD LUMBER STANDARD

WALL CONSTRUCTION	CONSTRUCTION GRADE
FLOORS AND ROOF	SPF NO. 2 OR BETTER UNLESS OTHERWISE NOTED
SILLS/EXTERIOR MEMBERS	PRESSURE TREATED 0.40 ACQ OR EQUIVALENT (INCLUDES JOISTS AND COMPOSITE BEAM MEMBERS)

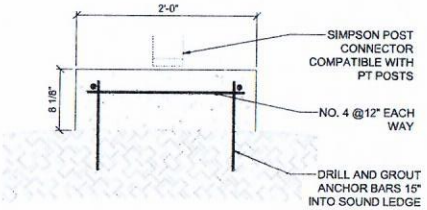
2. ALL TIMBER FRAMING COMPONENTS SHALL BE CONSIDERED INCIDENTAL TO THE BUILDING ERECTION INCLUDING HURRICANE TIES RIM JOIST HANGERS, BUCKS, NAILERS, BLOCKING, FURRING, STRIPPING, AND SIMILAR MEMBERS.
3. ALL CONNECTIONS IN CONTACT WITH COPPER BASED PRESSURE TREATED WOOD SHALL BE STAINLESS STEEL UNLESS APPROVED FOR APPLICATION BY MANUFACTURER.



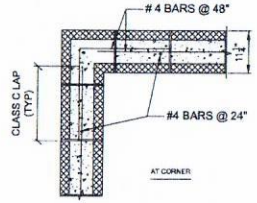
1 DETAIL AT DAY LIGHT BASEMENT
TYPICAL ICF FOOTING W/ LEDGE — NOT TO SCALE



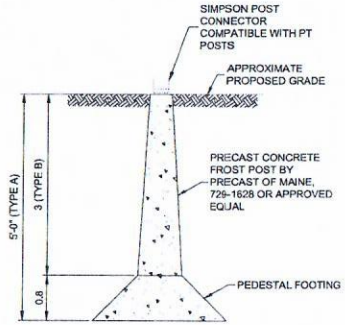
2 DETAIL
ICF CRAWL SPACE W/ LEDGE — NOT TO SCALE



3 DETAIL
POST PAD — NOT TO SCALE



4 DETAIL
TYPICAL REINFORCEMENT DETAILS FOR CONCRETE FILLED ICF WALLS — NOT TO SCALE



5 DETAIL
POST PAD — NOT TO SCALE

Attention: 0 1"
If this scale bar does not measure 1" then drawing is not original scale.

STATE OF MAINE — BARNEY J. BAKER No. 5737 — LICENSED PROFESSIONAL ENGINEER

Designed:	BJB
Drawn:	EEP
Checked:	BJB
Approved:	APP_BY
P.E. No:	PE#
GEI Project	VALUE

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SHEET NAME: **NOTES & TYPICAL DETAILS**

SHEET NO.: **G-002**

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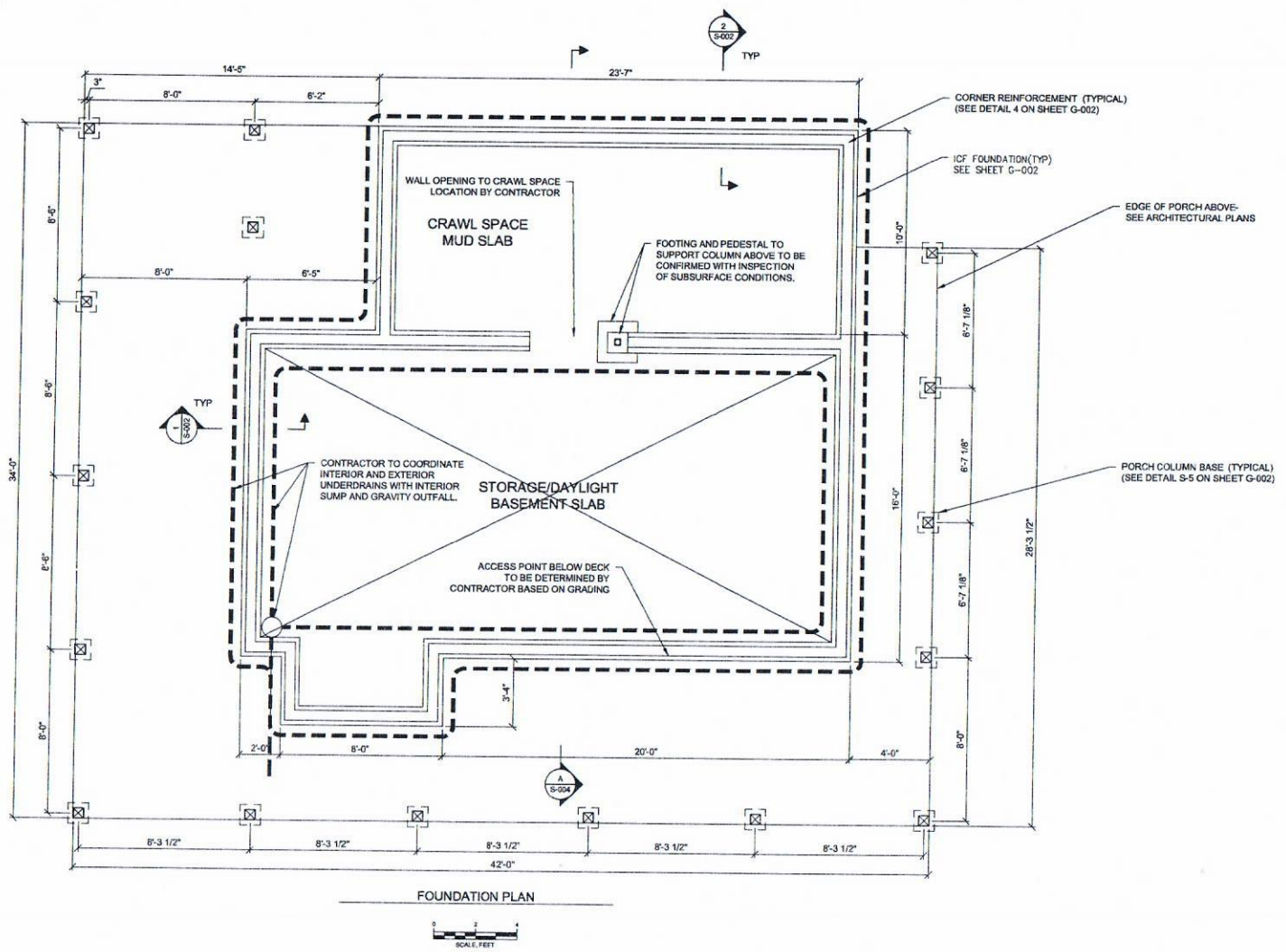

FOUNDATION PLAN

SCALE: FEET

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SHEET NAME: **FOUNDATION**

SHEET NO.: **S-001**

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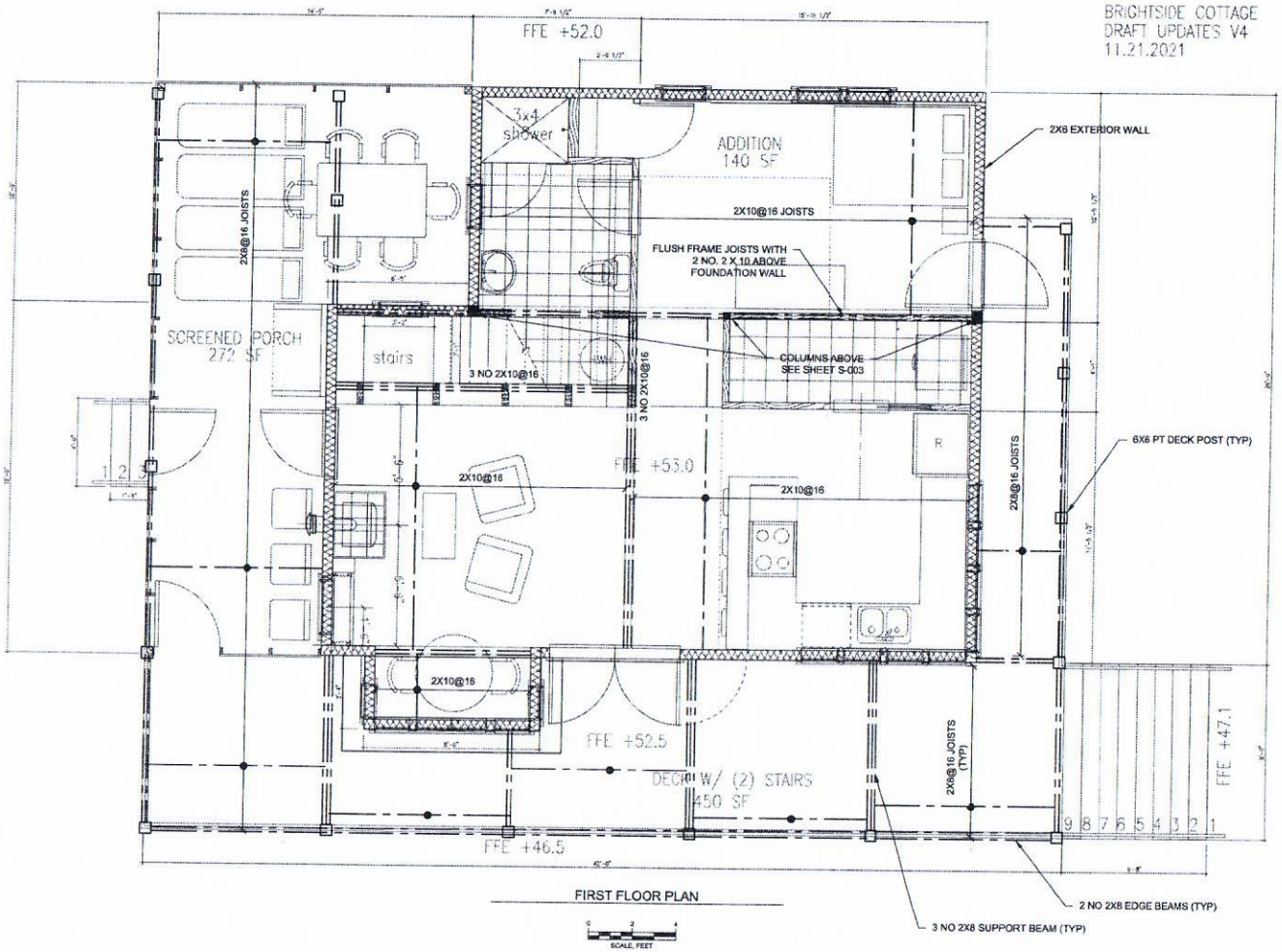
11.21.2021



FIRST FLOOR PLAN

SCALE: FEET

NOTES:
1. THIS PLAN IS INTENDED TO SHOW KEY STRUCTURAL FRAMING.
2. BASE MAPPING PROVIDED BY ARCHITECT.

Attention:
If this scale bar does not measure 1" then drawing is not original scale.

BARNEY J. BAKER No. 5737 PROFESSIONAL ENGINEER STATE OF MAINE

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SHEET NAME: **FIRST FLOOR PLAN**

SHEET NO.: **S-002**

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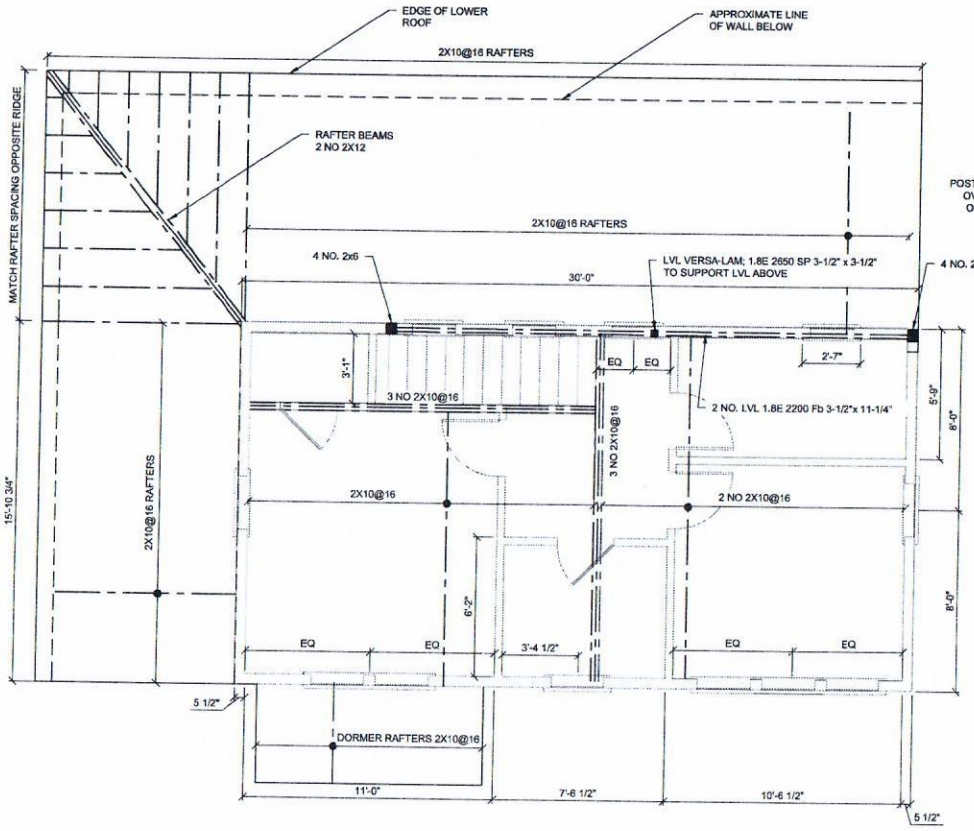
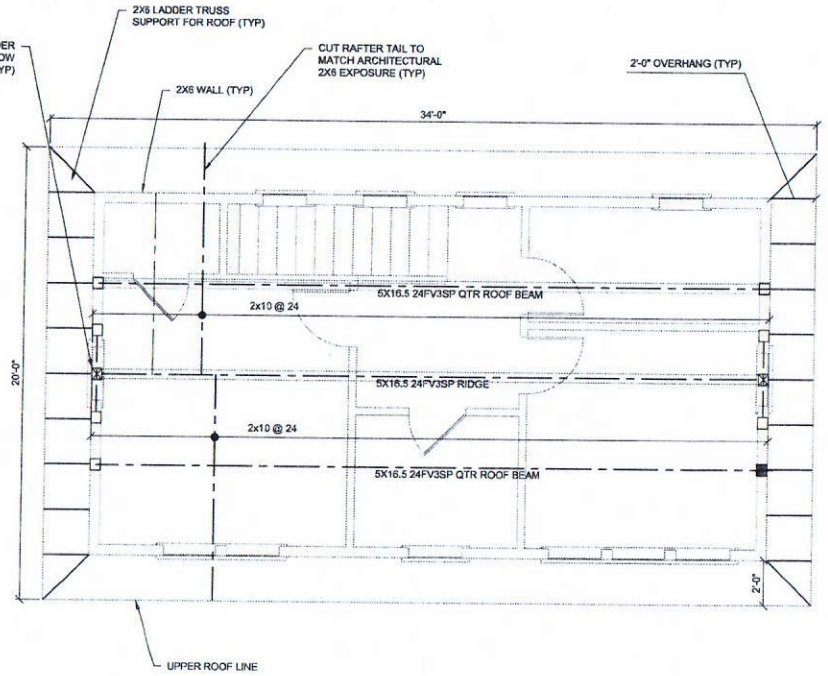


SECOND FLOOR PLAN

SCALE: FEET



ROOF PLAN

SCALE: FEET

NOTES:
1. THESE PLANS ARE INTENDED TO SHOW KEY STRUCTURAL FRAMING.
2. REFER TO BUILDING PLANS PROVIDED BY CLIENT WITH ADJUSTMENTS BY ARCHITECT.

Attention:
If this scale bar does not measure 1" then drawing is not original scale.

BARNEY J. BAKER No. 5737 LICENSED PROFESSIONAL ENGINEER STATE OF MAINE

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Drawn:	EEP
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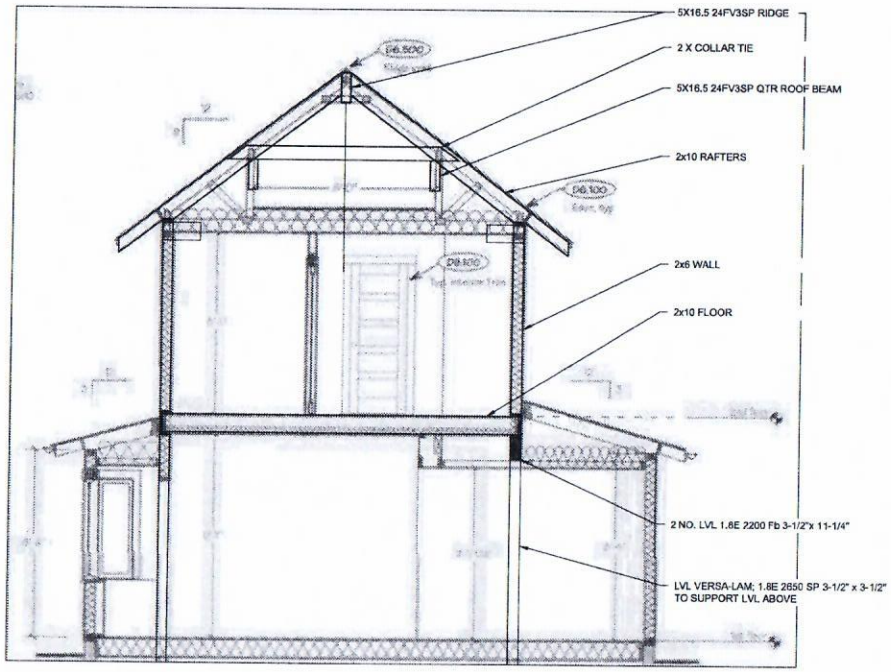
SHEET NAME
SECOND FLOOR AND ROOF PLAN

SHEET NO.
S-003



A TYPICAL SECTION
SCALE: 3/8" = 1'

NOTES:
1. THIS SECTION SHOWS ALTERNATE STRUCTURAL FRAMING SUPERIMPOSED ON CLIENT PROVIDED BUILDING SECTION.

Barney Baker

Attention:
0 1"
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STATE OF MAINE BARNEY J. BAKER No. 5737 LICENSED PROFESSIONAL ENGINEER

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Checked:	BJB
Approved:	-
P.E. No:	-
GEI Project	-

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MACDONALD HOUSE FOUNDATION

65 ISLAND AVE
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NO	DATE	ISSUE/REVISION	APP
C	5/10/2022	STRUCTURAL SET	BJB
B	2/18/2022	PROGRESS SET	BJB

SHEET NAME: TYPICAL SECTION
SHEET NO.: **S-004**

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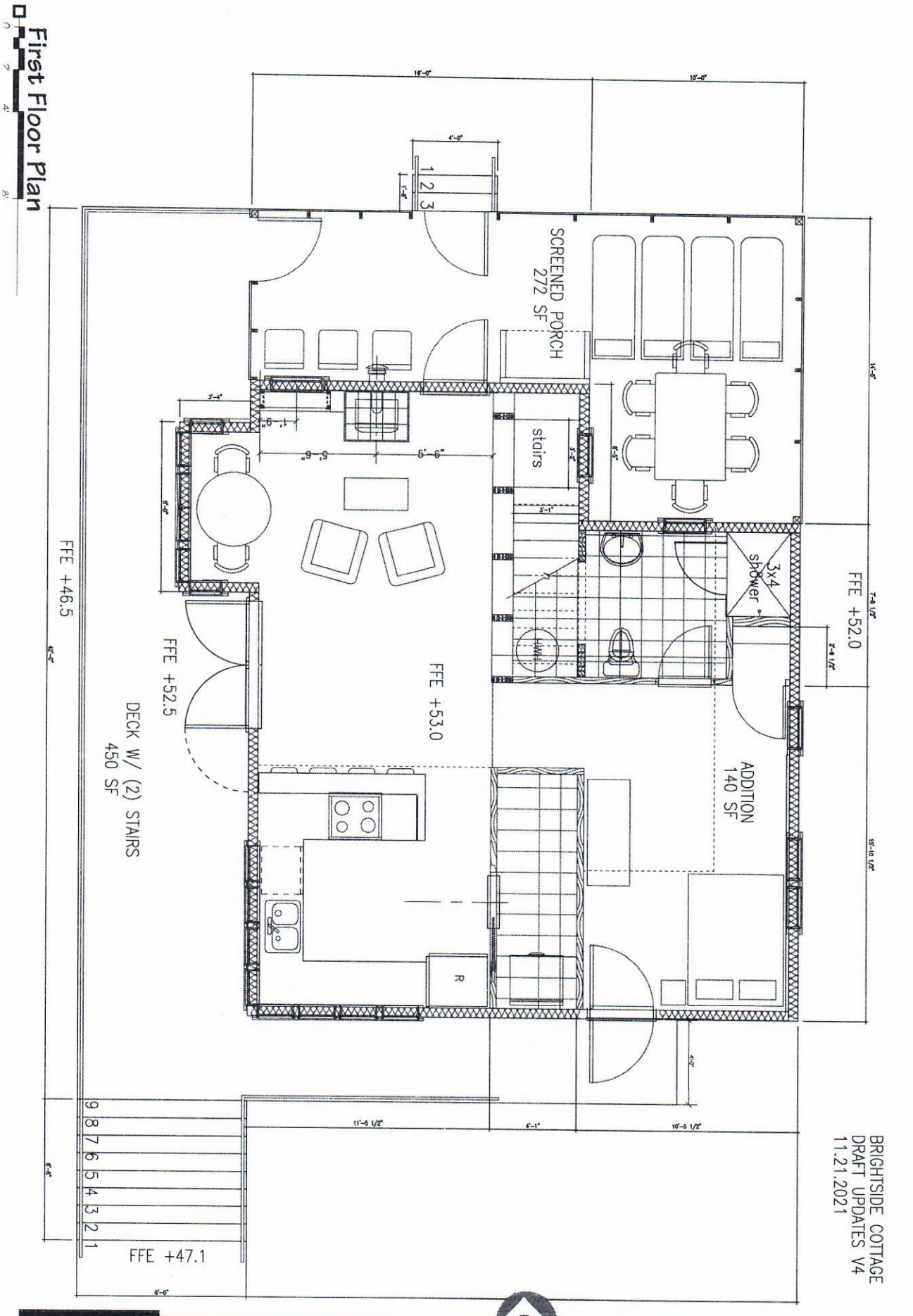

4.1
PLAN

Brightside

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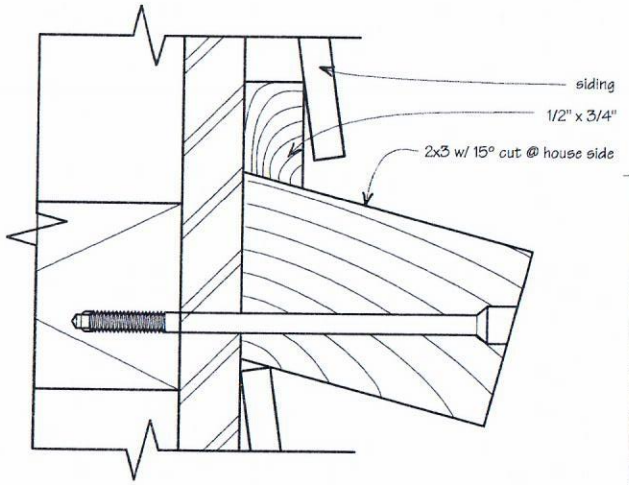
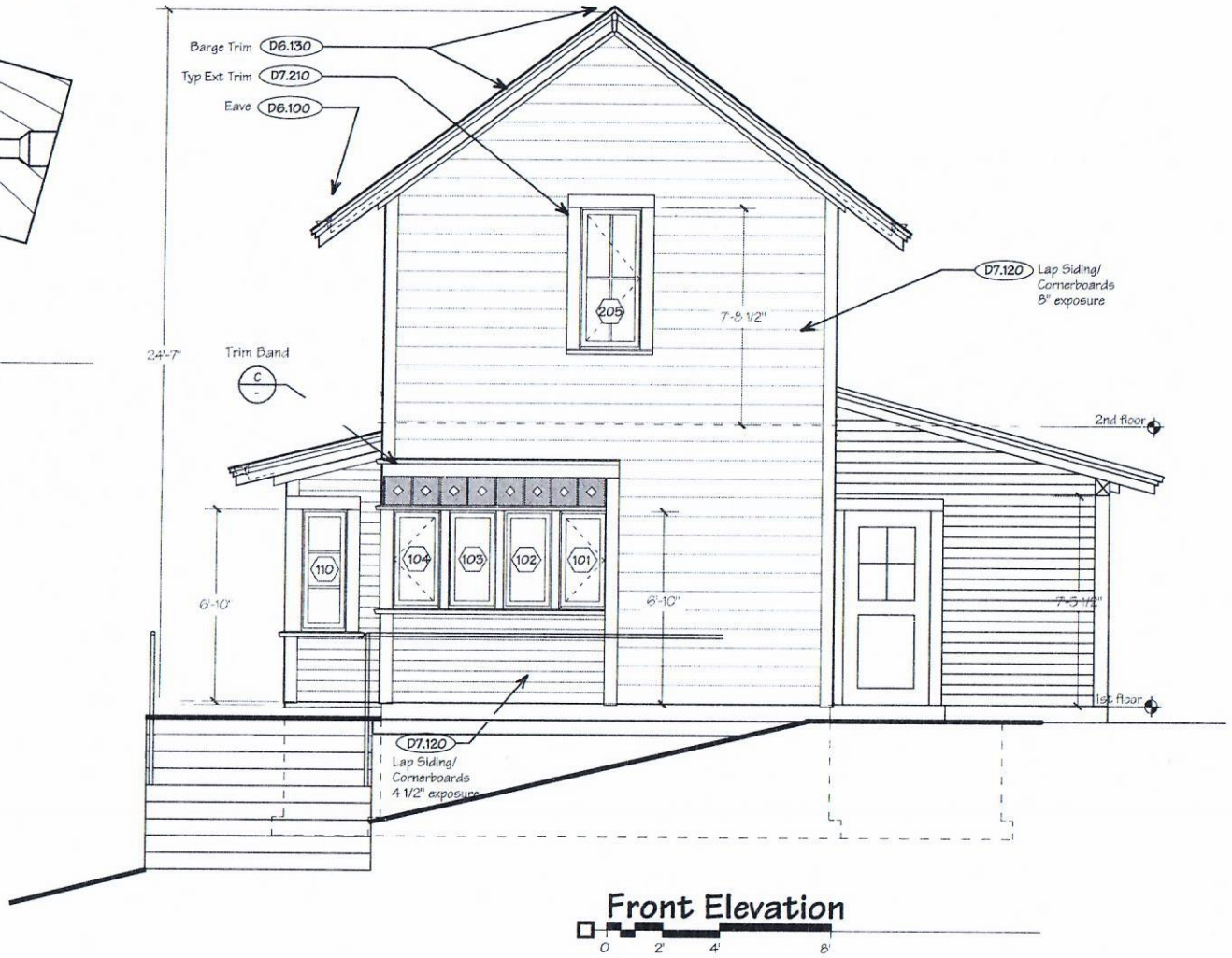
BRIGHTSIDE COTTAGE
DRAFT UPDATES V4
11.21.2021



Trim Band



Front Elevation

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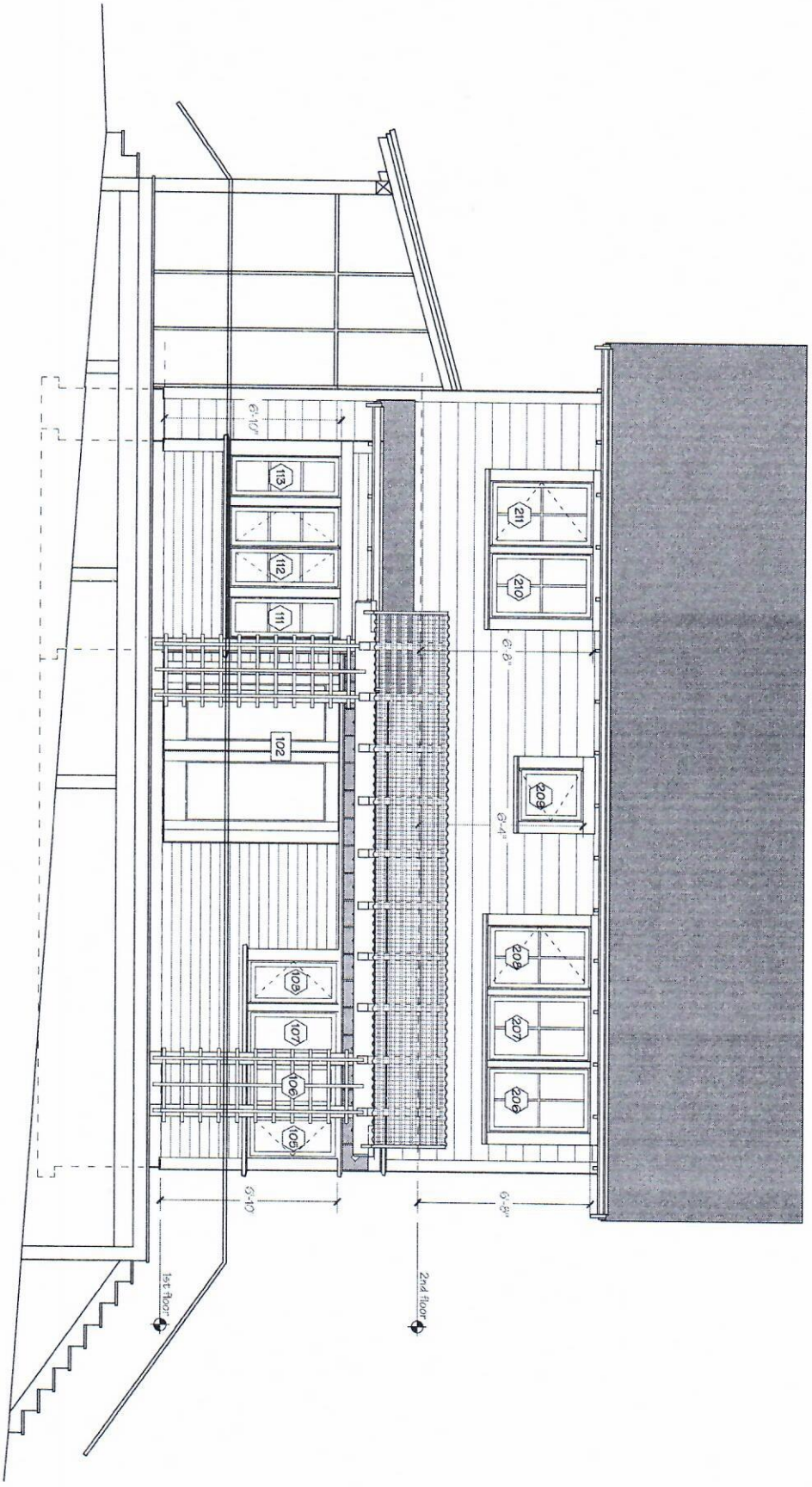
Brightside

7.1
ELEVATION



Left Elevation
0 2 4 8'

BRIGHTSIDE COTTAGE
DRAFT UPDATES V4
11.21.2021

7.2
ELEVATION

Brightside

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